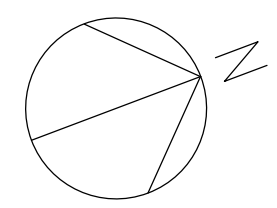


SITE PLAN

1/8" = 1'-0"



GENERAL NOTES

PROPERTY OWNERS: RICHARD AND LYNN DUBEY

JOB ADDRESS: 8140 W. Mercer Way

JOB DISCRPTION

Remove existing outdoor covered entry and replace with addition to house with new entry and elevator. Add new retaining wall to the south of the addition and fill in behind wall to create new exterior entry court.

LEGAL DISCRPTION:

Lot 25, Lakeridge Heights, records of King County, Washington.

TAX PARCEL NUMBER: 4141670250

LOT AREA: 14,304 sf

ZONING: R-15

CODE:

All work shall be in compliance with:
 2015 IRC 2015 IFGC
 2015 IRC 2015 UPC
 2015 BCB (BCC 23.05) 2015 NEC
 2015 IMC 2015 WSEC, WAC 51-11(WSEC)

BUILDING SQUARE FOOTAGE:

	Existing	Removed	New	Total
Basement	720 sf	0 sf	0 sf	720.00 sf
First floor	1,809 sf	0 sf	110.00 sf	1,919.00 sf
Second floor	1,269 sf	0 sf	51.50 sf	1,320.50 sf
Second floor deck	121 sf	0 sf	0 sf	121.00 sf
Entry porch	130 sf	130 sf	0 sf	0.00 sf
Garage	745 sf	0 sf	0 sf	745.00 sf
Total	4,794 sf	130 sf	161.50 sf	4,825.50 sf

	Existing	Removed	New	Total
Deck	799 sf	0 sf	0 sf	799.00 sf
Driveway / walks	1,188 sf	0 sf	0 sf	1,188.00 sf
Entry court	0 sf	0 sf	200.50 sf	200.50 sf
Total	1,987 sf	0 sf	200.50 sf	2,187.50 sf

SLOPE OF LOT: 24% - see site plan

IMPERVIOUS SQUARE FOOTAGE: 35% allowed on 24% slope

	Existing	Removed	New	Total
Building footprint	2,452.61	130 sf	110.00 sf	2,432.61 sf
Decks	799 sf	0 sf	0 sf	799.00 sf
Driveway/walks	1,188 sf	0 sf	0 sf	1,188.00 sf
Entry court	0 sf	0 sf	200.50 sf	200.50 sf
Total	4,439.61 sf	130 sf	308.25 sf	4,620.11 sf

NEW IMPERVIOUS COVERAGE : 4,620.11 / 14,304 = 32%

HEIGHT LIMIT: no change in height

REQUIRED YARDS - no change

	Required	Actual
FYSB	20'-0"	17'-0" existing
RYSB	25'-0"	26'-4"
SYSB	10'-0"	23'-11"
SYSB	5'-0"	26'-2"

ENERGY CREDITS

Addition is less than 500 sf.

INSULATION

Roof w/ attic: R-49
 Vaulted Roof: R-38
 Walls: R-21
 Floors: R-30
 Window headers: R-10
 Vertical glazing: U = .30 or less

WINDOWS

All windows to be NFRC certified Andersen 400 Series windows w/ Low-E insulated glass. They shall have a tested "U" value of 0.28 for pictures, 0.27 for casement. All glazing below 18" above floorline shall be tempered. Any glazing within 24" of doors shall also be tempered. All bedrooms to have at least one operable window or door providing a clear opening of 20" wide and 24" high and minimum square footage of 5.7 s.f. The egress window sill shall be at maximum of 44" above the finished floor.

DOORS

All exterior doors shall be fully weatherstripped. Glazing shall be double tempered. All exterior doors shall have maximum 1" threshold. Opaque exterior doors shall have a "U" value rating of 0.20 or less

SMOKE DETECTORS

Smoke detectors shall have battery backup and be hard wired and interconnected so they will alarm together. They shall be installed per manufacturer's recommendations.

HVAC SYSTEM

existing forced air gas

WHOLE HOUSE VENTILATION - not required

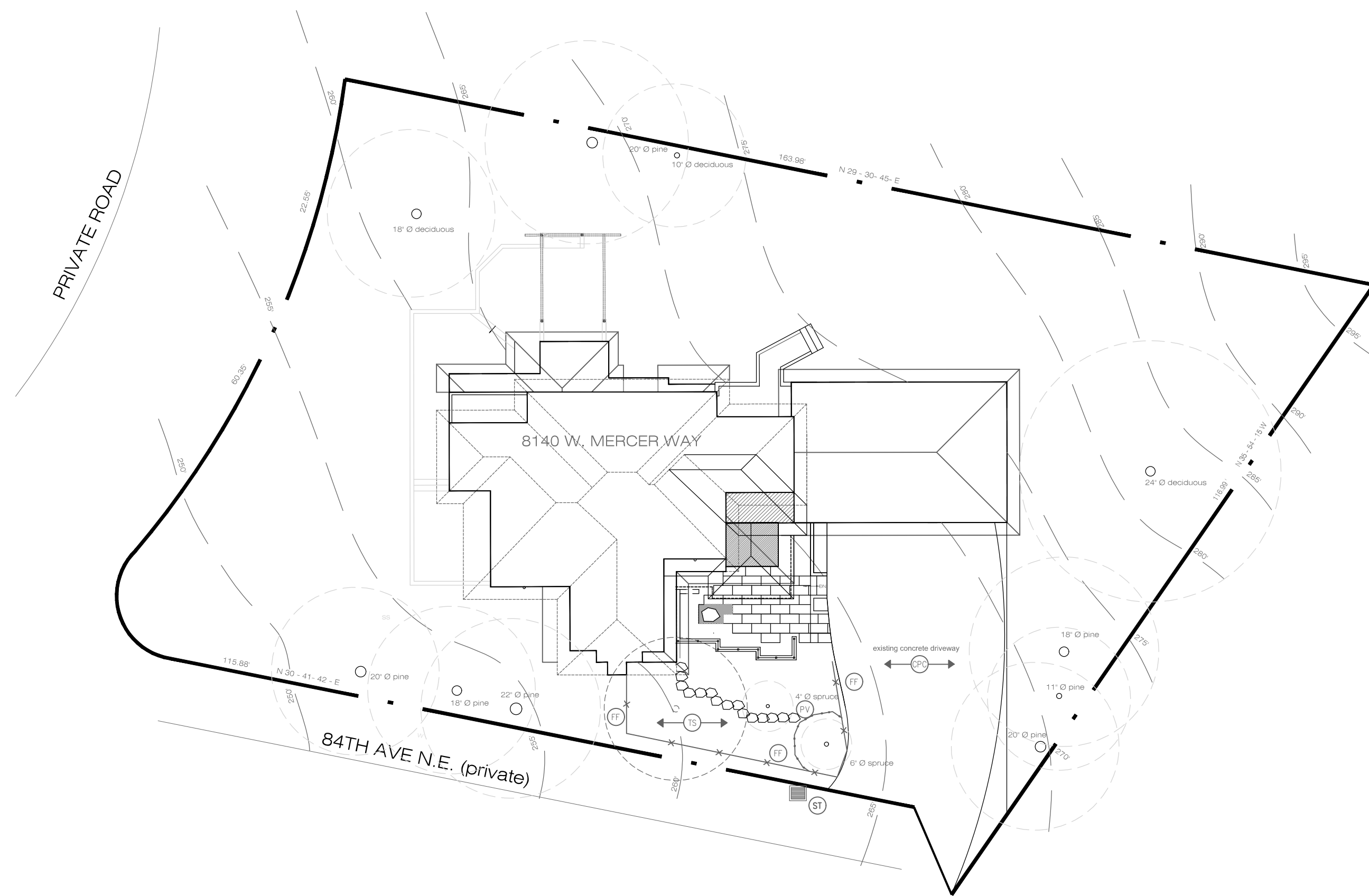
KEY

- sanitary sewer ——— SS ———
- water line ——— W ———
- gas line ——— G ———
- underground electric ——— ue ———
- existing tree and dripline ○

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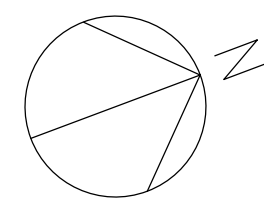
DUBEY ADDITION
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 MERCER ISLAND, WA.
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SITE PLAN
 GENERAL NOTES



TEMP EROSION /SEDIMENT CONTROL PLAN

1/16" = 1'-0"



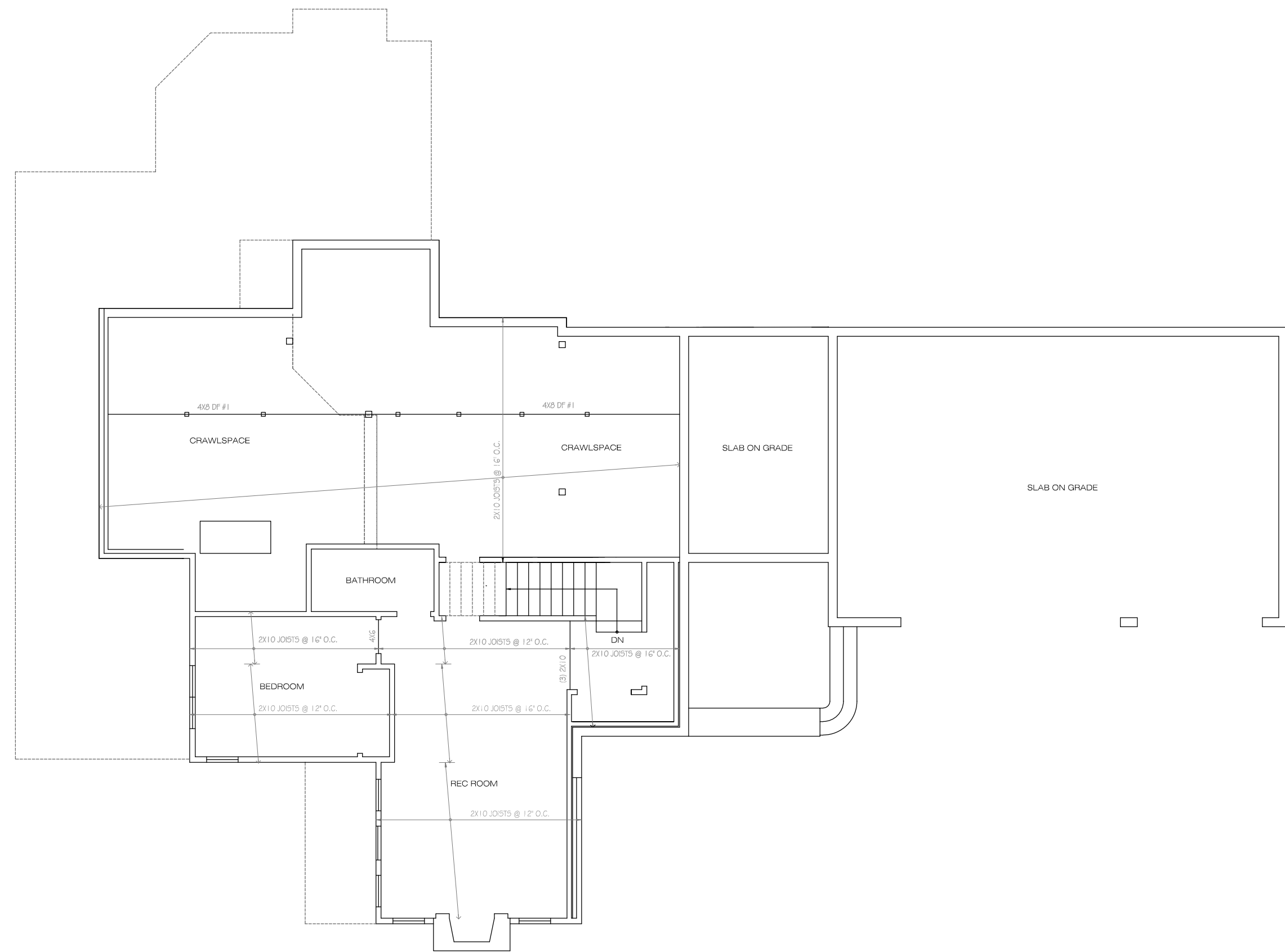
<p>FILTER FENCE</p> <p>REASON: TO INTERCEPT & DETAIN SMALL AMOUNTS OF SEDIMENT UNDER SHEET FLOW CONDITIONS FROM DISTURBED AREAS DURING CONSTRUCTION. TO DECREASE VELOCITY OF SHEET FLOWS.</p> <p>SYMBOL: </p>	<p>TEMPORARY SEEDING AND MULCHING</p> <p>REASON: TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.</p> <p>SYMBOL: </p>
<p>CONSTRUCTION ACCESS</p> <p>REASON: TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.</p> <p>SYMBOL: </p>	<p>TEMPORARY SEDIMENT TRAP FOR CATCH BASINS</p> <p>REASON: TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.</p> <p>SYMBOL: </p>
<p>PRESERVING VEGETATION</p> <p>REASON: TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.</p> <p>SYMBOL: </p>	<p>TEMPORARY SEDIMENT TRAP FOR CATCH BASINS</p> <p>REASON: TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.</p> <p>SYMBOL: </p>

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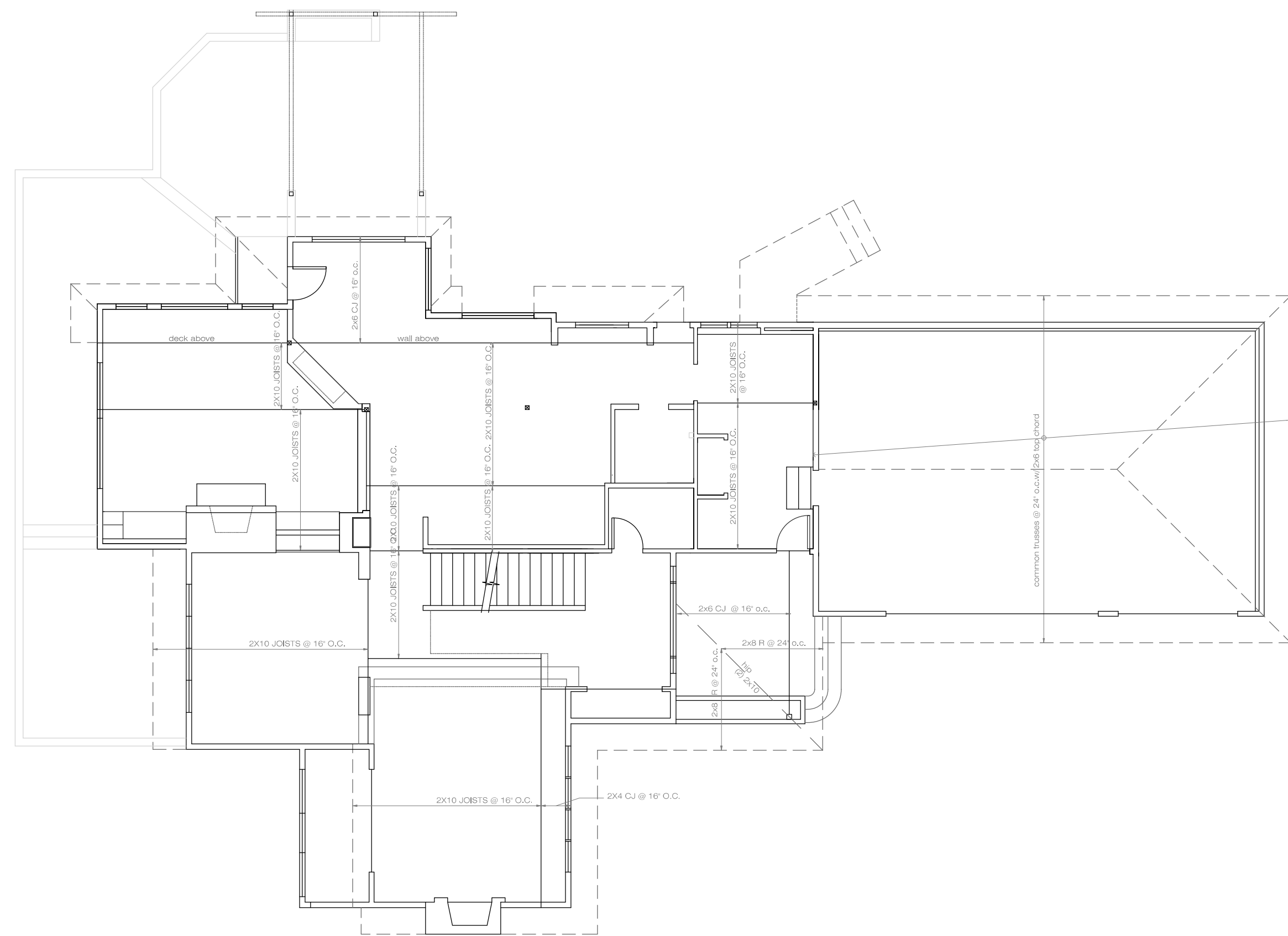
DUBEY ADDITION
8140 WEST MERCER WAY
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98040

EROSION AND SEDIMENT CONTROL PLAN

SHEET:
A -1.2
SHEET 2 OF 11



FOUNDATION / FIRST FLOOR FRAMING PLAN
1/8" = 1'-0"

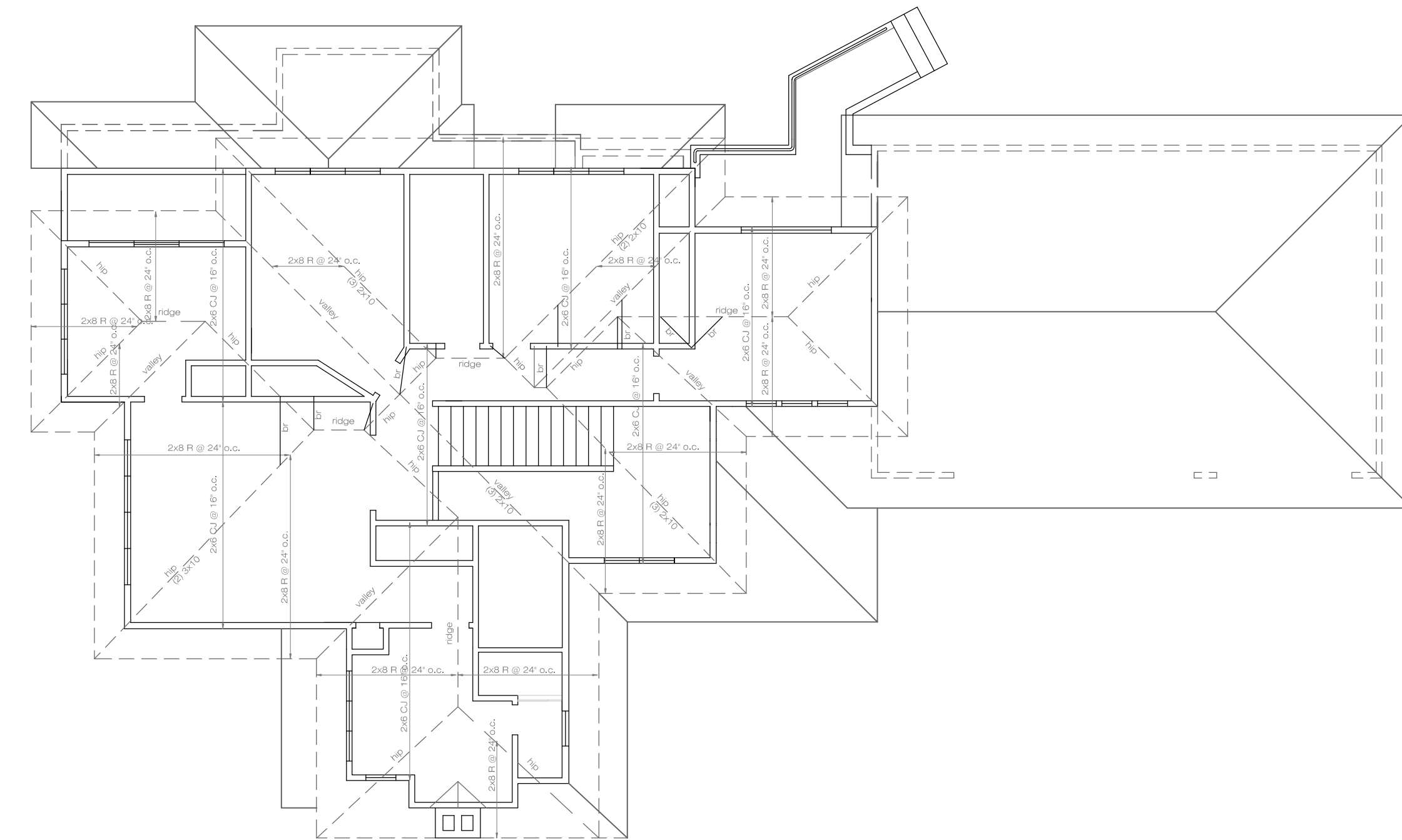


SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"

NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



ROOF FRAMING PLAN
1/8" = 1'-0"

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DATE	DESCRIPTION

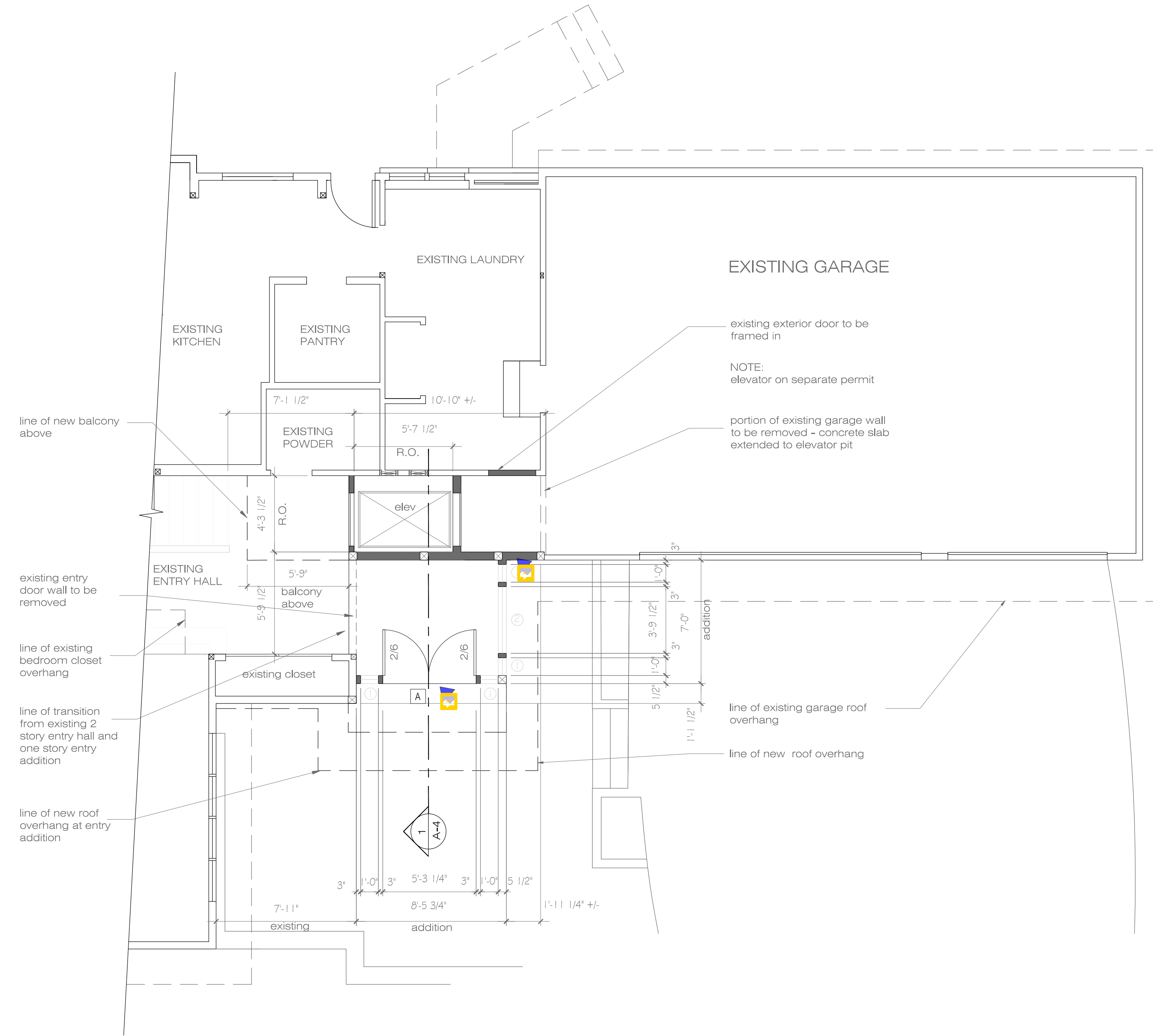
DUBEY ADDITION
8140 WEST MERCER WAY
MERCER ISLAND, WA.
98040

FRAMING / ELEVATION
AS-BUILTS

SHEET:

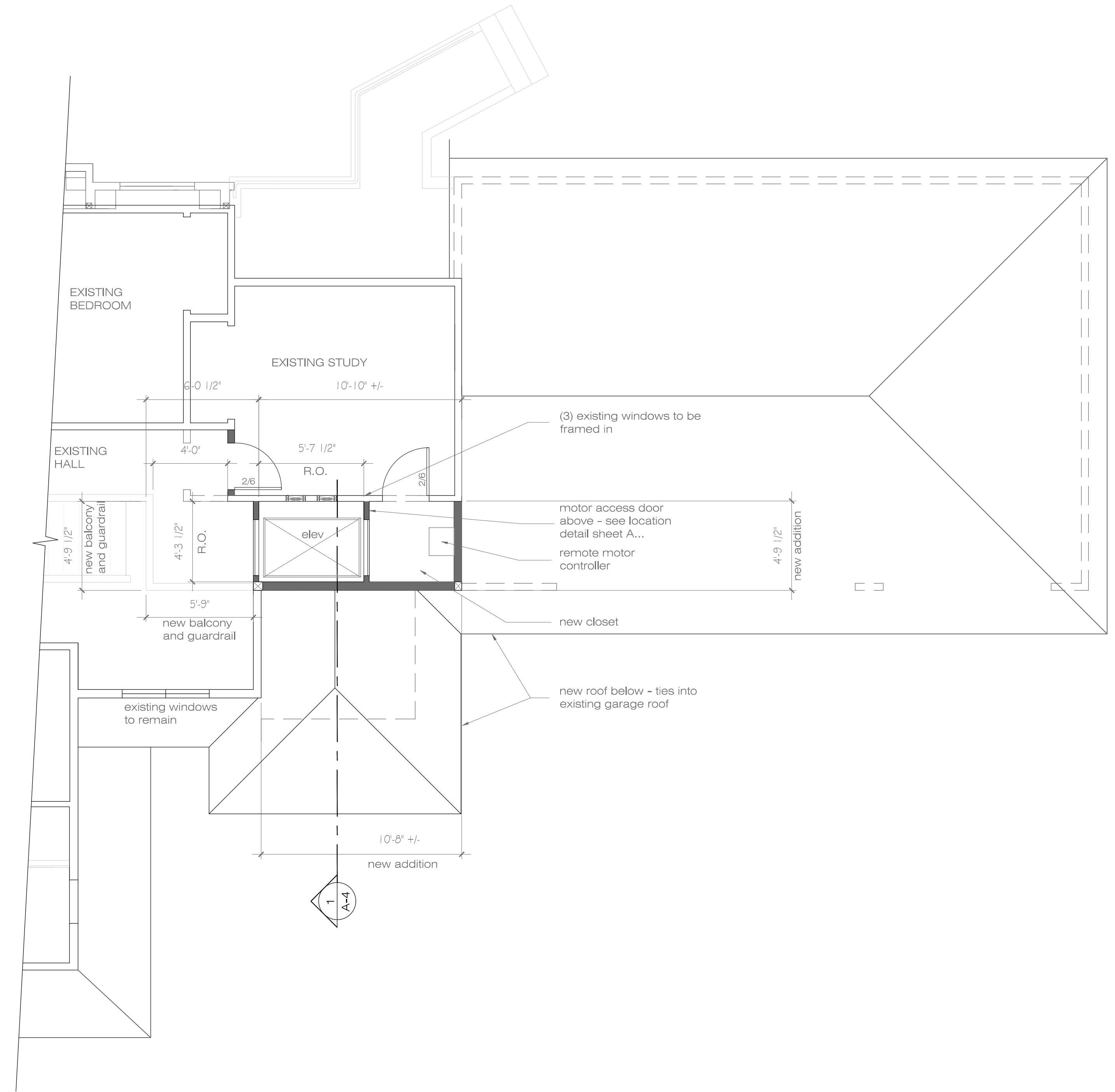
A-2

SHEET 3 OF 11



FIRST FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"

KEY

- existing wall to remain
- new wall

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DATE	DESCRIPTION

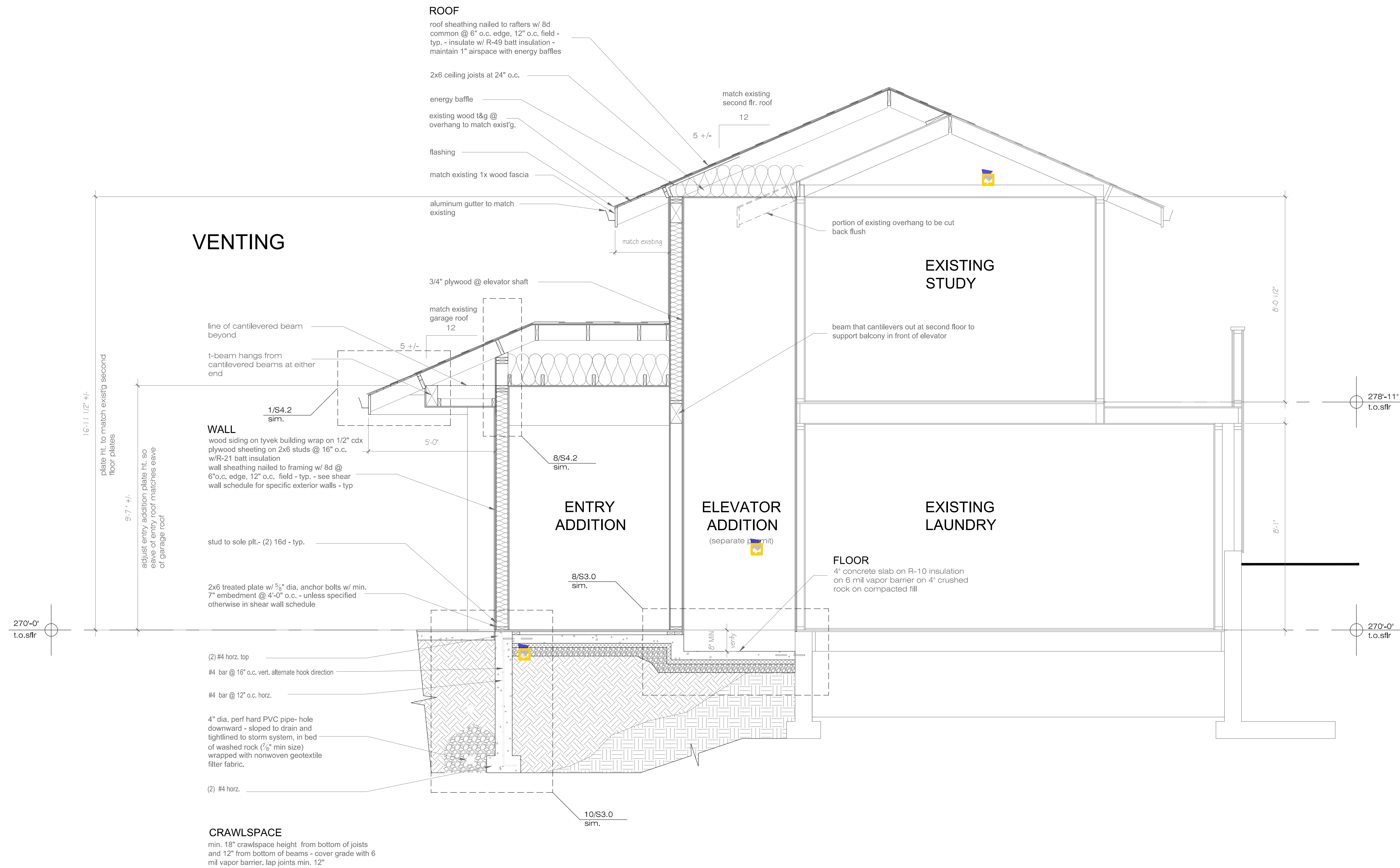
DUBEY ADDITION
8140 WEST MERCER WAY
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ADDITION FLOOR PLANS

SHEET:

A-3

SHEET 4 OF 11



1/5 SECTION
 1/2" = 1'-0"

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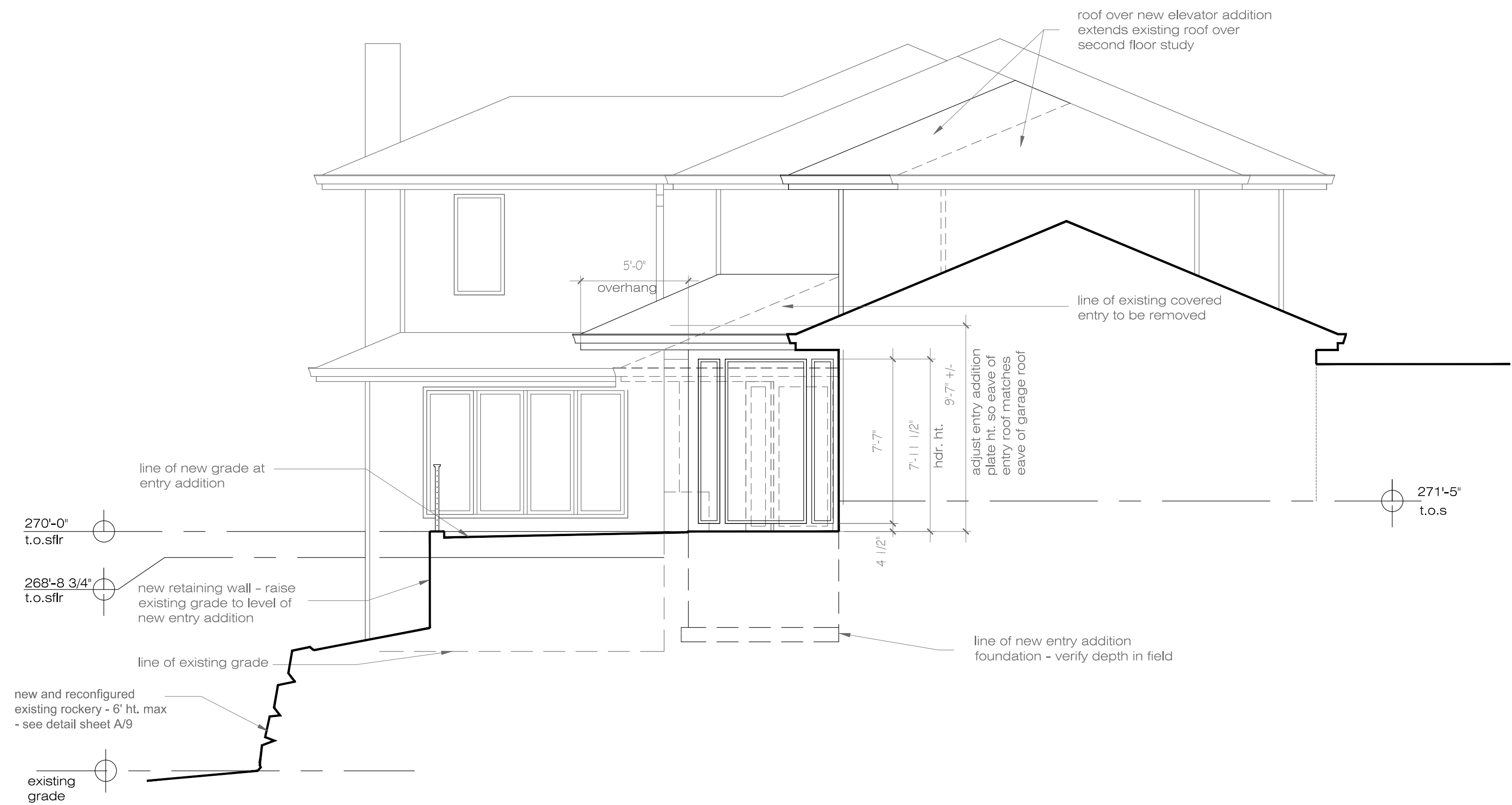
BUILDING SECTION

WINDOW SCHEDULE

GLAZING #	MANUF.	MODEL	TYPE	R.O. SIZE	AREA	QUANTITY	TOTAL AREA	U-VALUE	NOTES
1	Andersen	400 Series	picture	1'-0" x 7'-7"		4	30.50 sf	0.27	tempered
2	Andersen	400 Series	picture	3'-9 1/2" x 7'-7"		1	29.00 sf	0.27	tempered

DOOR SCHEDULE

GLAZING #	MANUF.	MODEL	TYPE	R.O. SIZE	AREA	QUANTITY	TOTAL AREA	U-VALUE	NOTES
A	Andersen	AEHID5080	french entry	63 1/4" x 95 1/2"	41.40 sf	1	41.40 sf	0.32	tempered



NORTH ELEVATION

1/4" = 1'-0"

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DATE DESCRIPTION

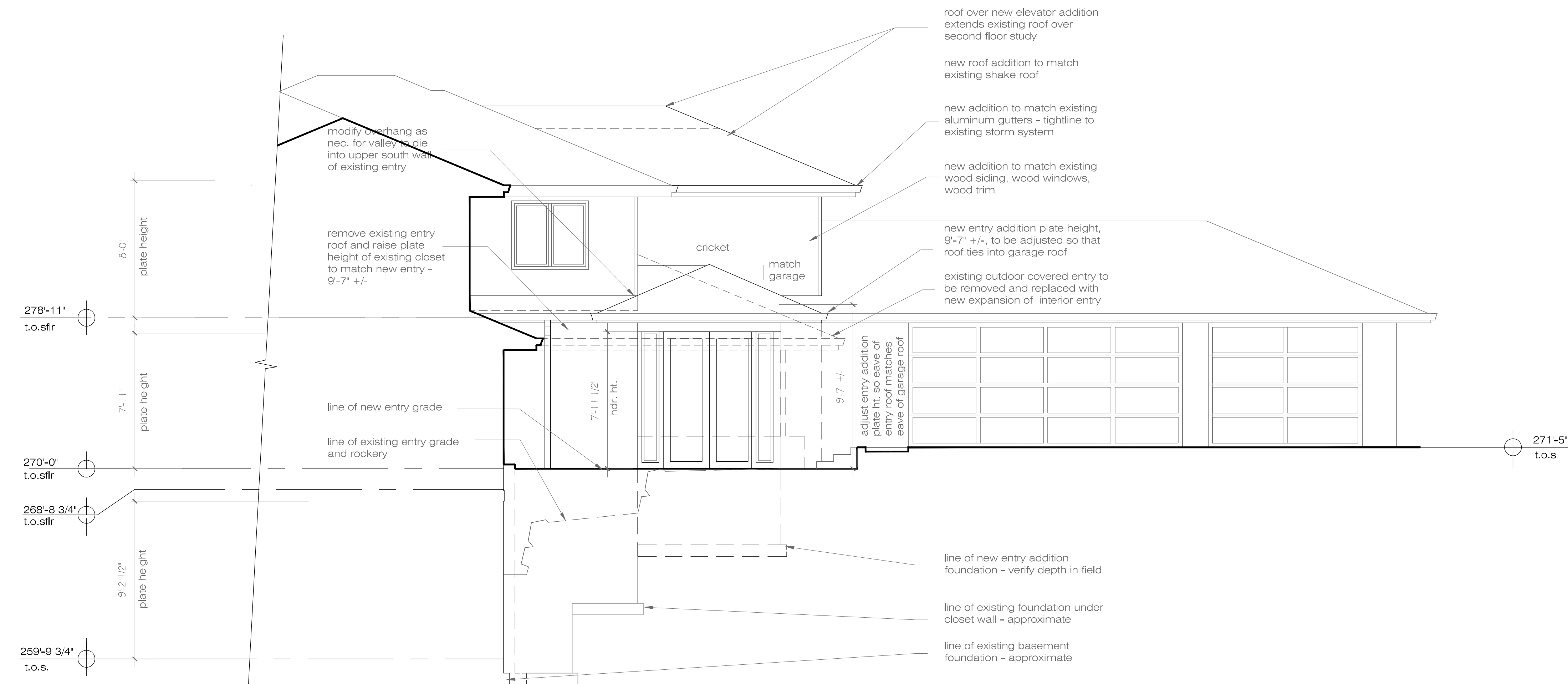
DUBEY ADDITION
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NORTH ELEVATION
EAST ELEVATION

SHEET:

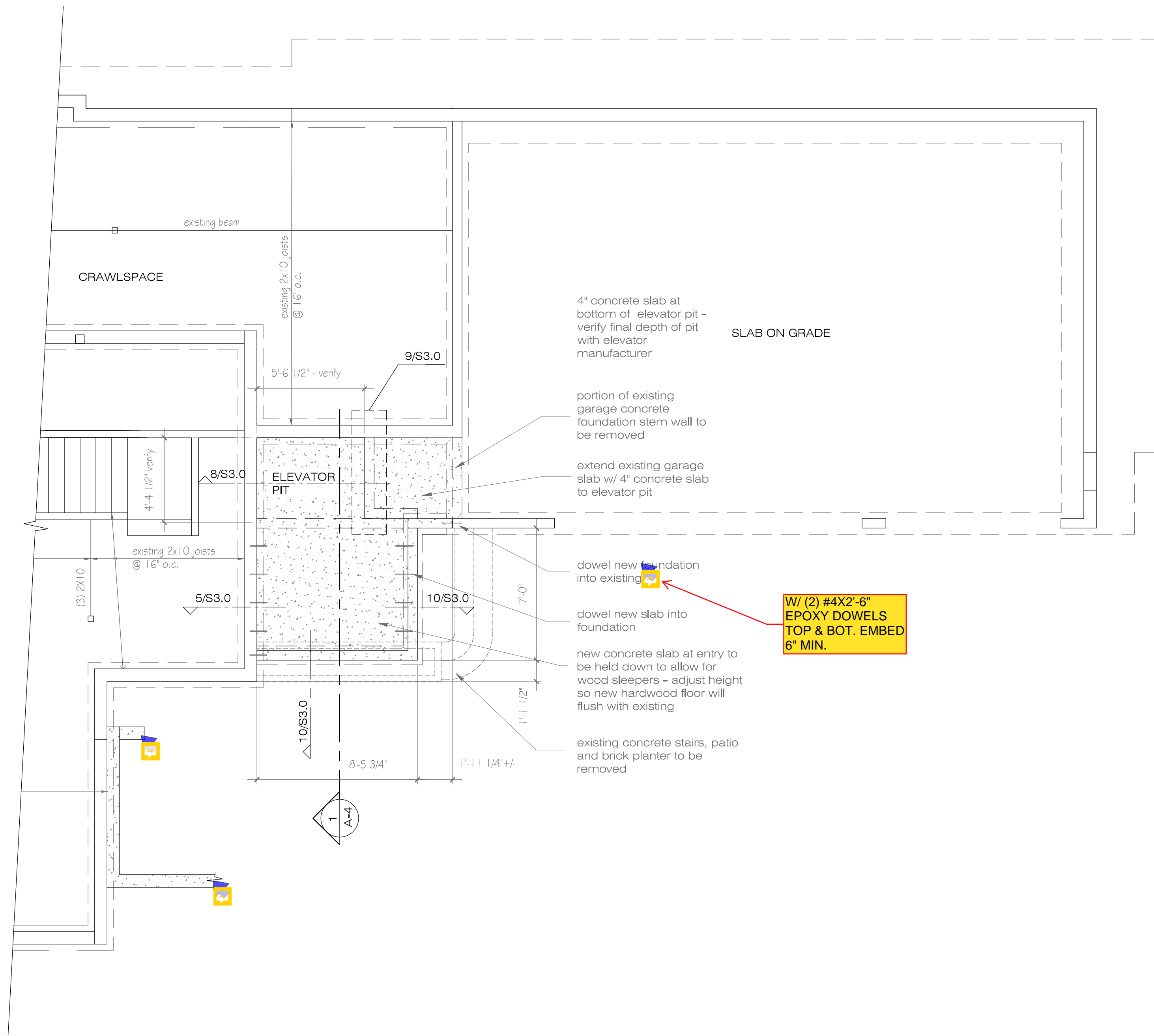
A-5

SHEET 6 OF 11



EAST ELEVATION

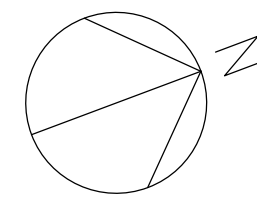
1/4" = 1'-0"



W/ (2) #4X2-6\"/>

FOUNDATION / FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



KEY

- existing foundation wall
- new concrete slab

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DATE	DESCRIPTION

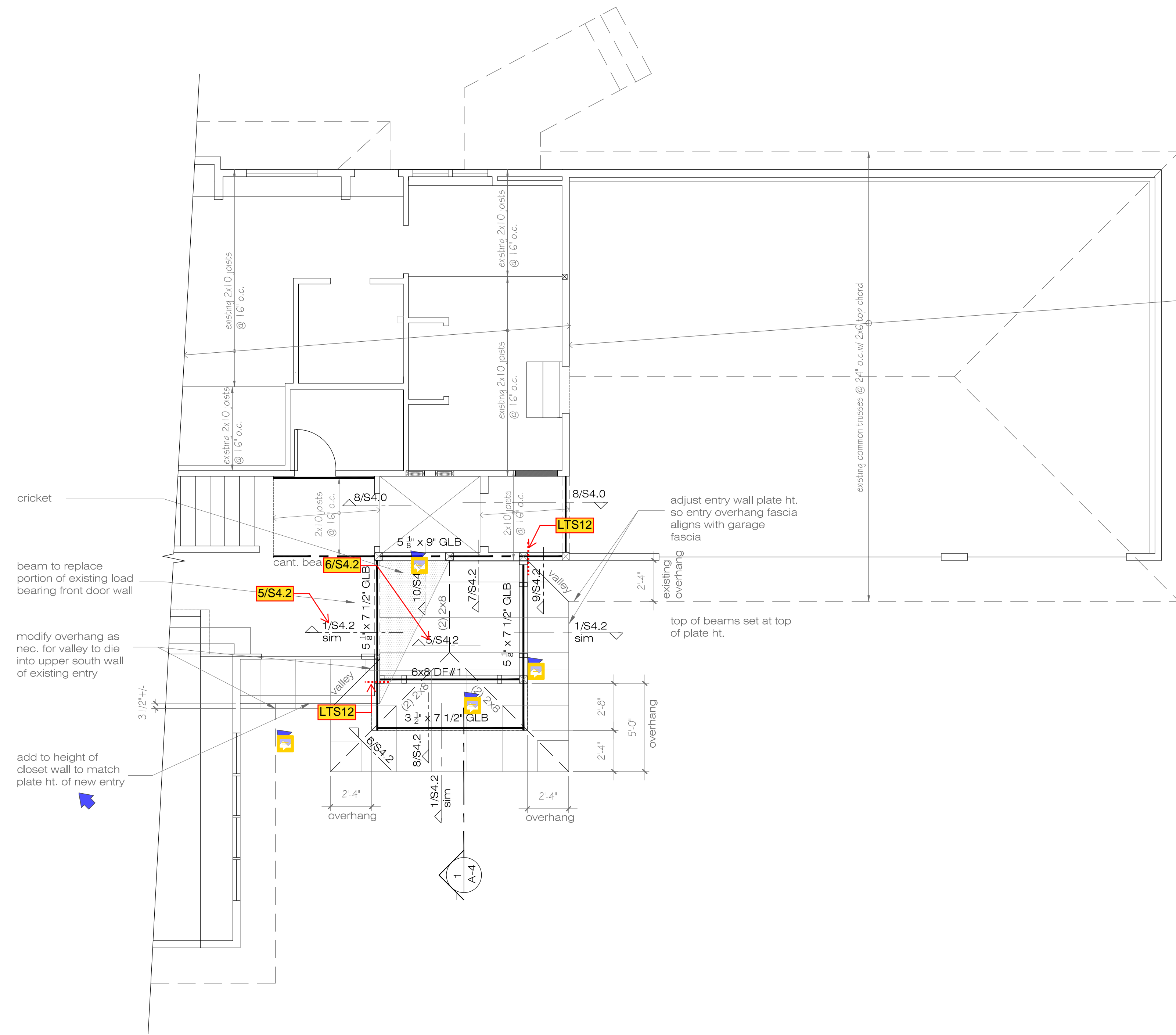
DUBEY ADDITION
 8140 WEST MERCER WAY
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FOUNDATION PLAN
 FIRST FLOOR
 FRAMING PLAN

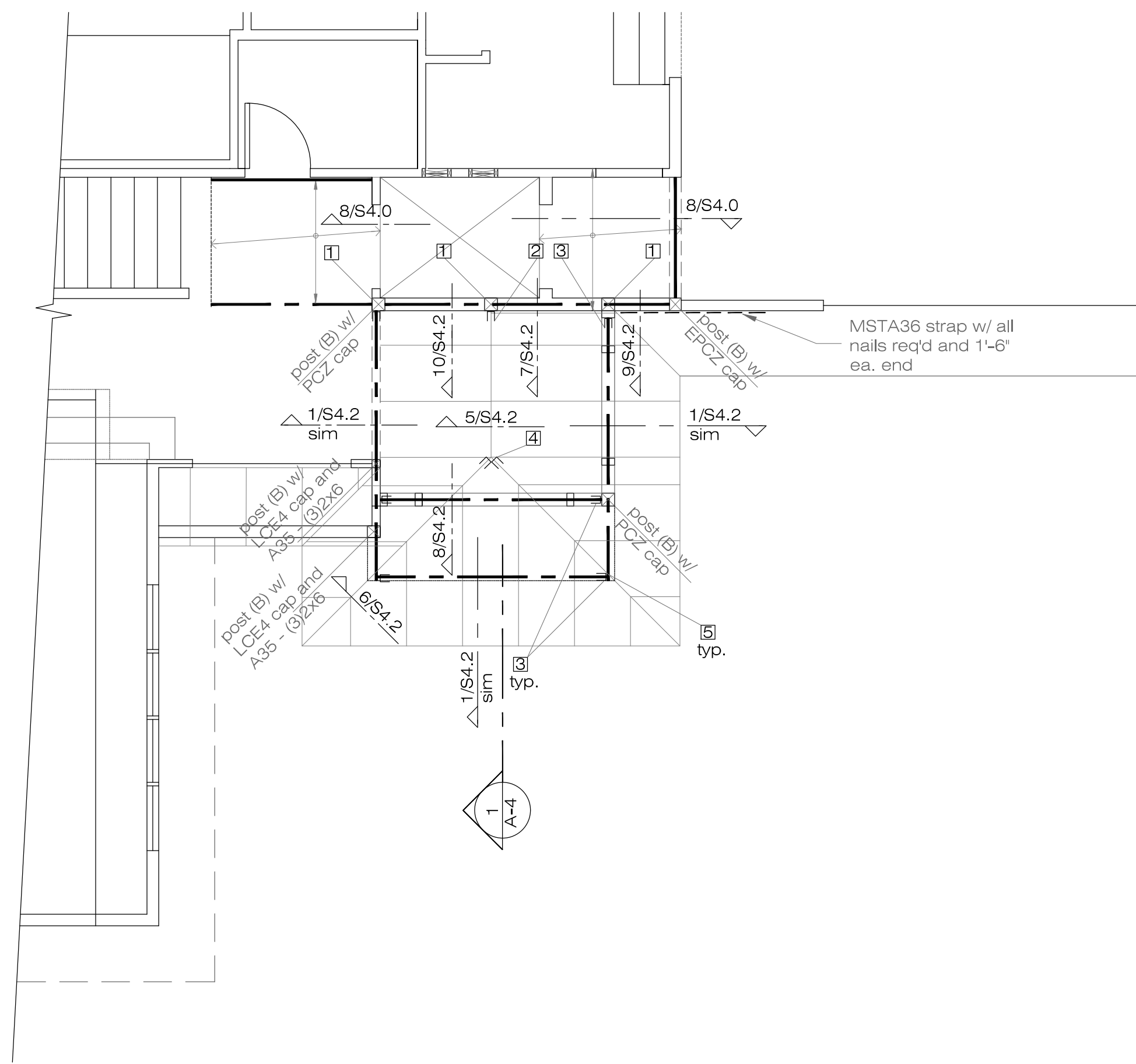
SHEET:

A-6

SHEET 7 OF 11



ENTRY ROOF/ SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



ENTRY ROOF FRAMING CONNECTIONS
1/4" = 1'-0"

KEY

- 1) (3) 2x6 w/ A35 ea. side
- 2) HUC28-2 hanger, all nails req'd.
- 3) HUCQ hanger, all SDS screws req'd.
- 4) HHRC44 hanger, all SD screws req'd.
- 5) HCP4Z connector, all nails req'd.

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ENTRY ROOF FRAMING PLAN
SECOND FLOOR FRAMING PLAN

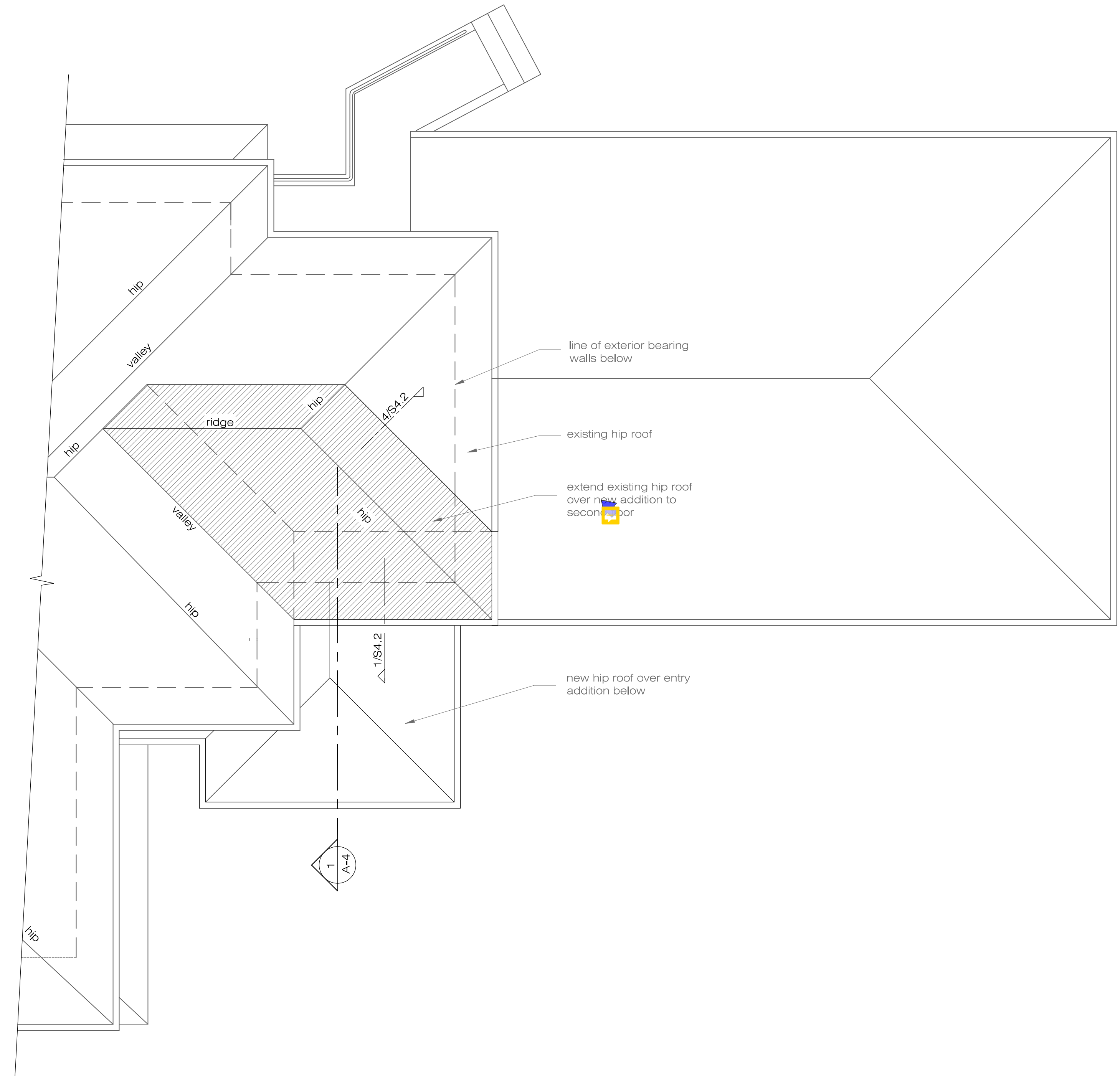
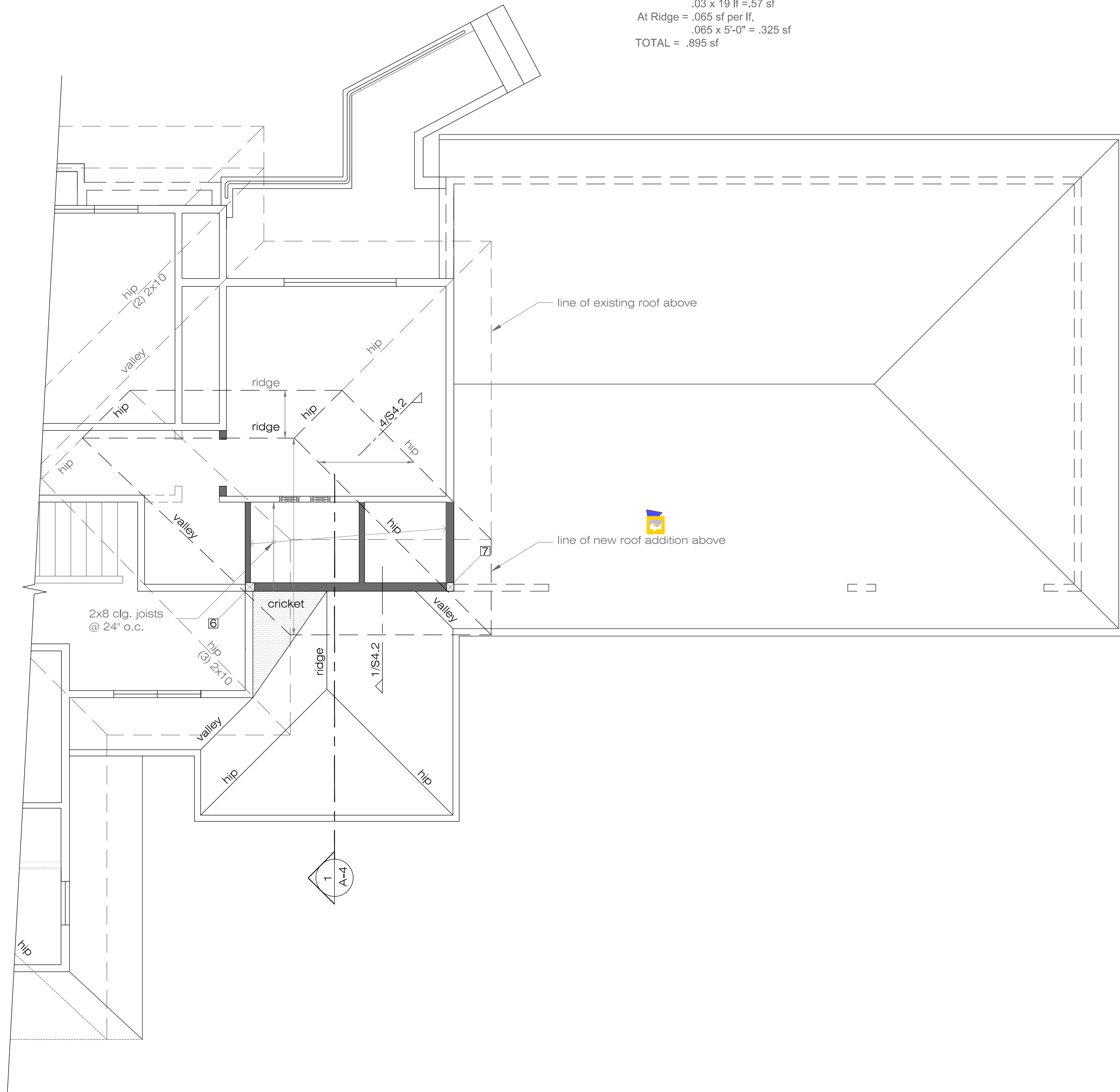
SHEET:

A-7

SHEET 8 OF 11

ROOF VENTING CALCS

HIP ROOF VENTING
 Required Venting = 58.6  300 = .195 sf
 Actual Venting
 At Eave: = (3) 2" Ø screened holes per 24" = 4.71 square inches per lf of vented soffit = .03 sf per lf
 .03 x 19 lf = .57 sf
 At Ridge = .065 sf per lf,
 .065 x 5'-0" = .325 sf
 TOTAL = .895 sf



 **ROOF FRAMING PLAN**
 1/4" = 1'-0"

- KEY**
-  (4) 2x6 w/ A35
 -  (3) 2x6 w/ A35

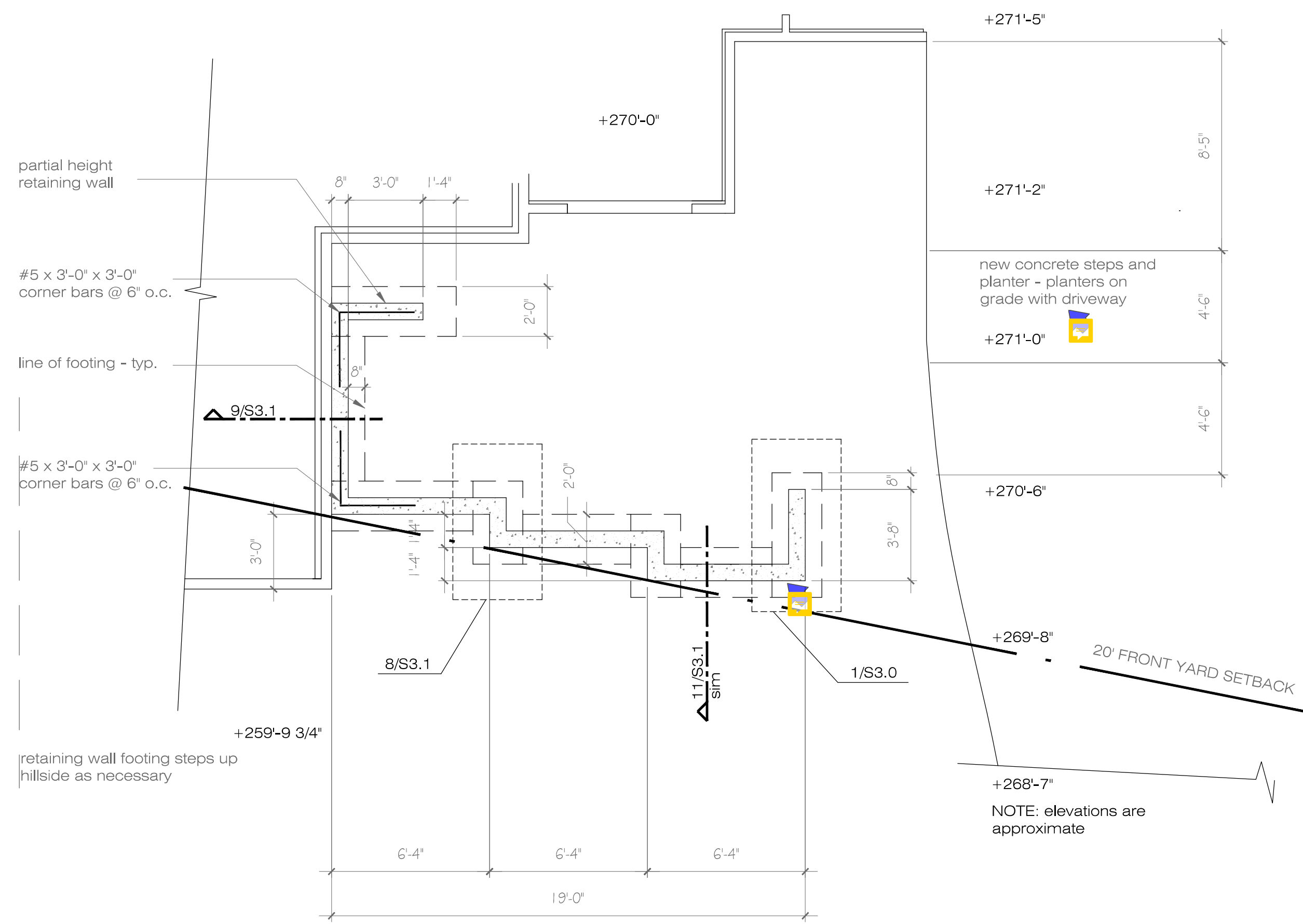
 **ROOF PLAN**
 1/4" = 1'-0"

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DATE	DESCRIPTION

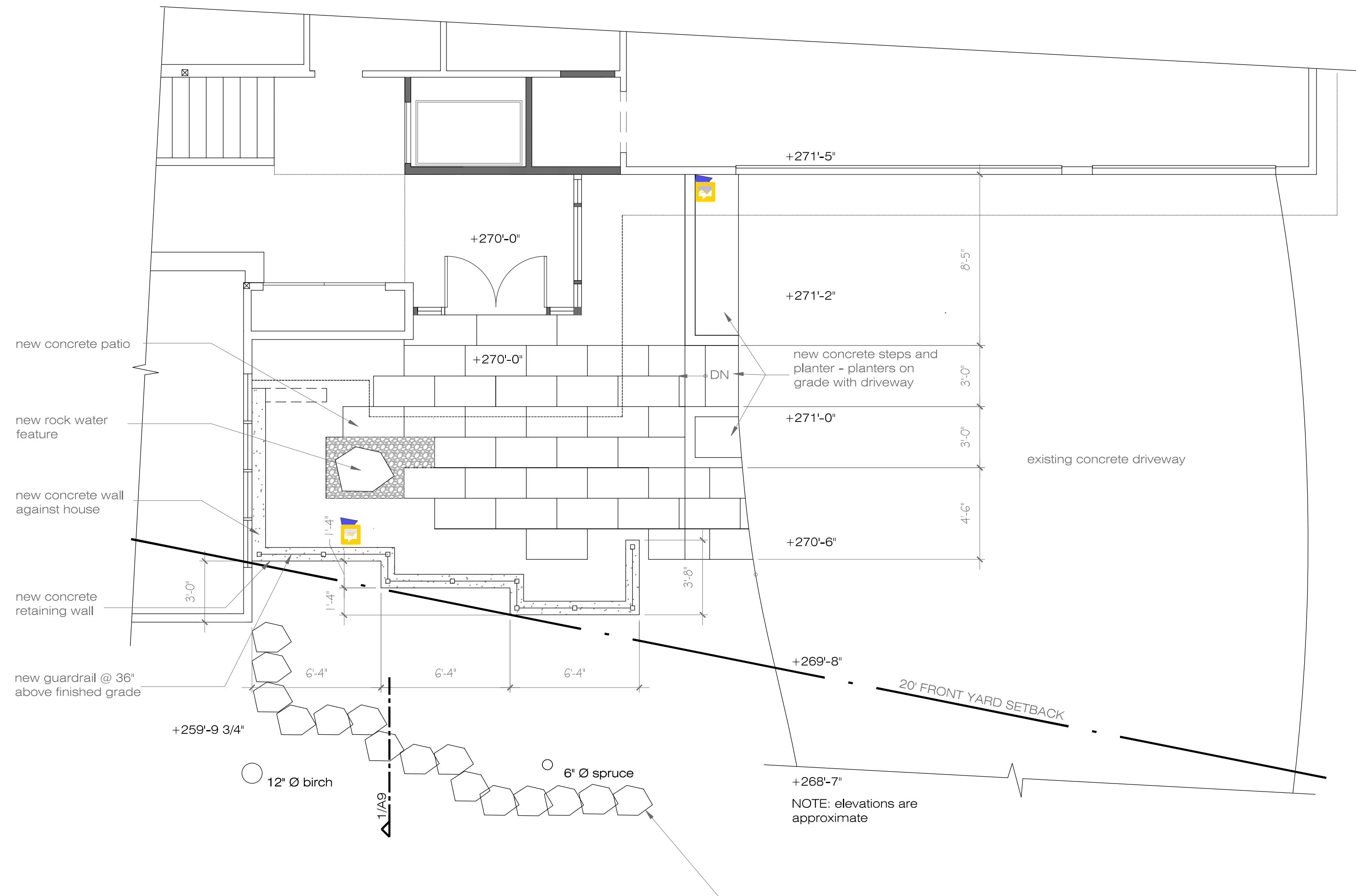
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ROOF FRAMING PLAN
 ROOF PLAN



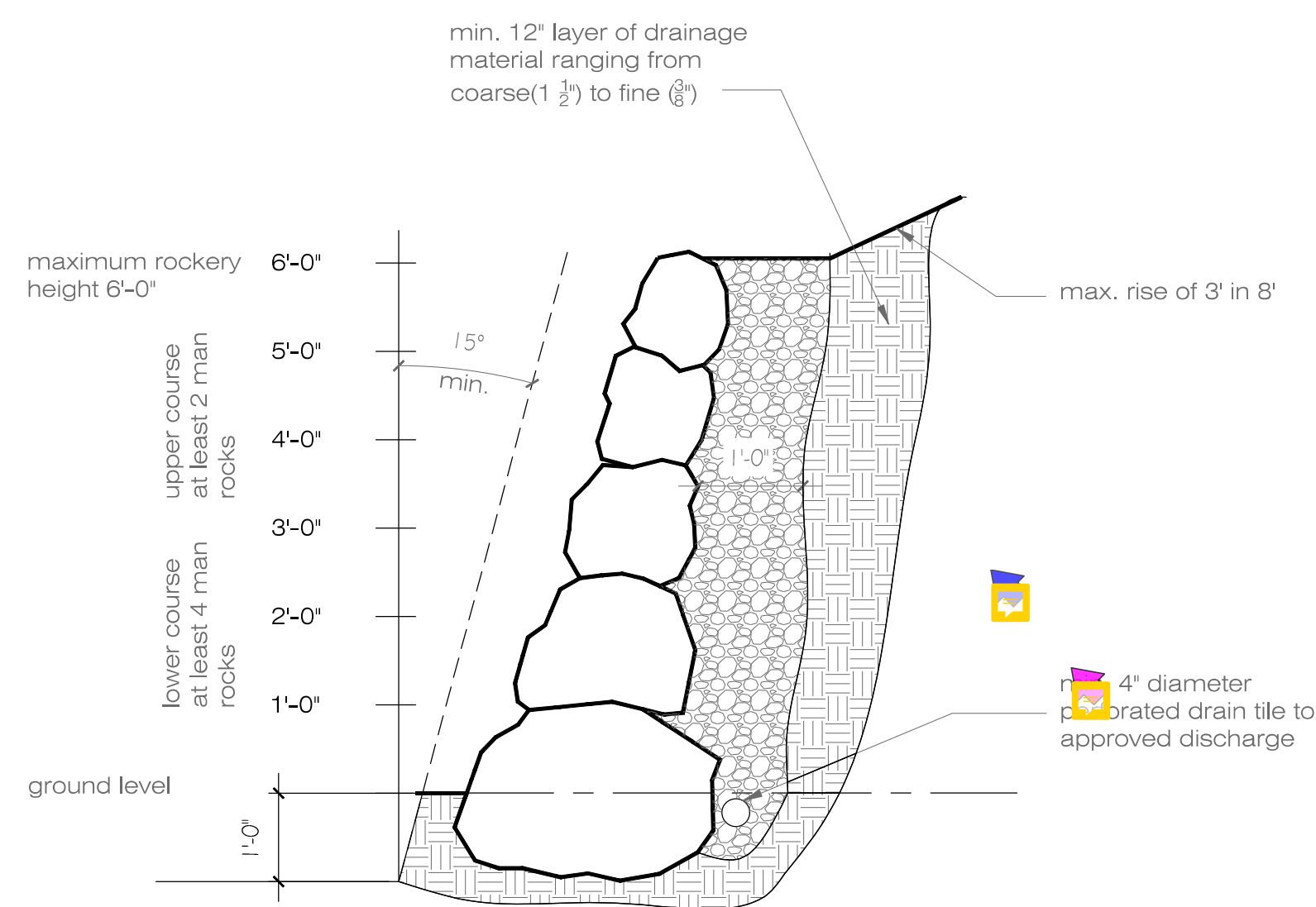
ENTRY PATIO RETAINING WALL AND FOUNDATION PLAN

1/4" = 1'-0"



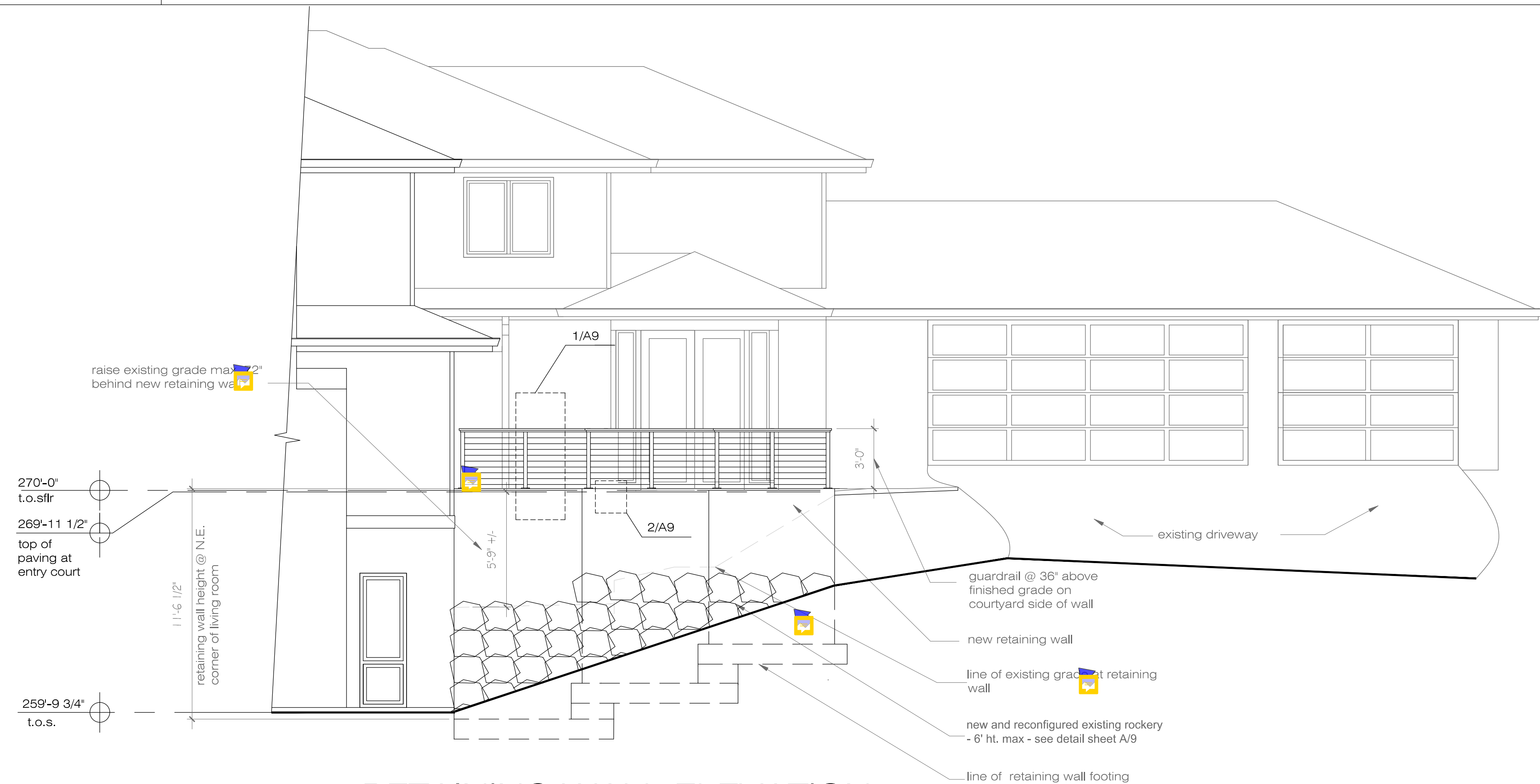
ENTRY PATIO PLAN

1/4" = 1'-0"



ROCKERY SECTION

NTS



RETAINING WALL ELEVATION

1/4" = 1'-0"

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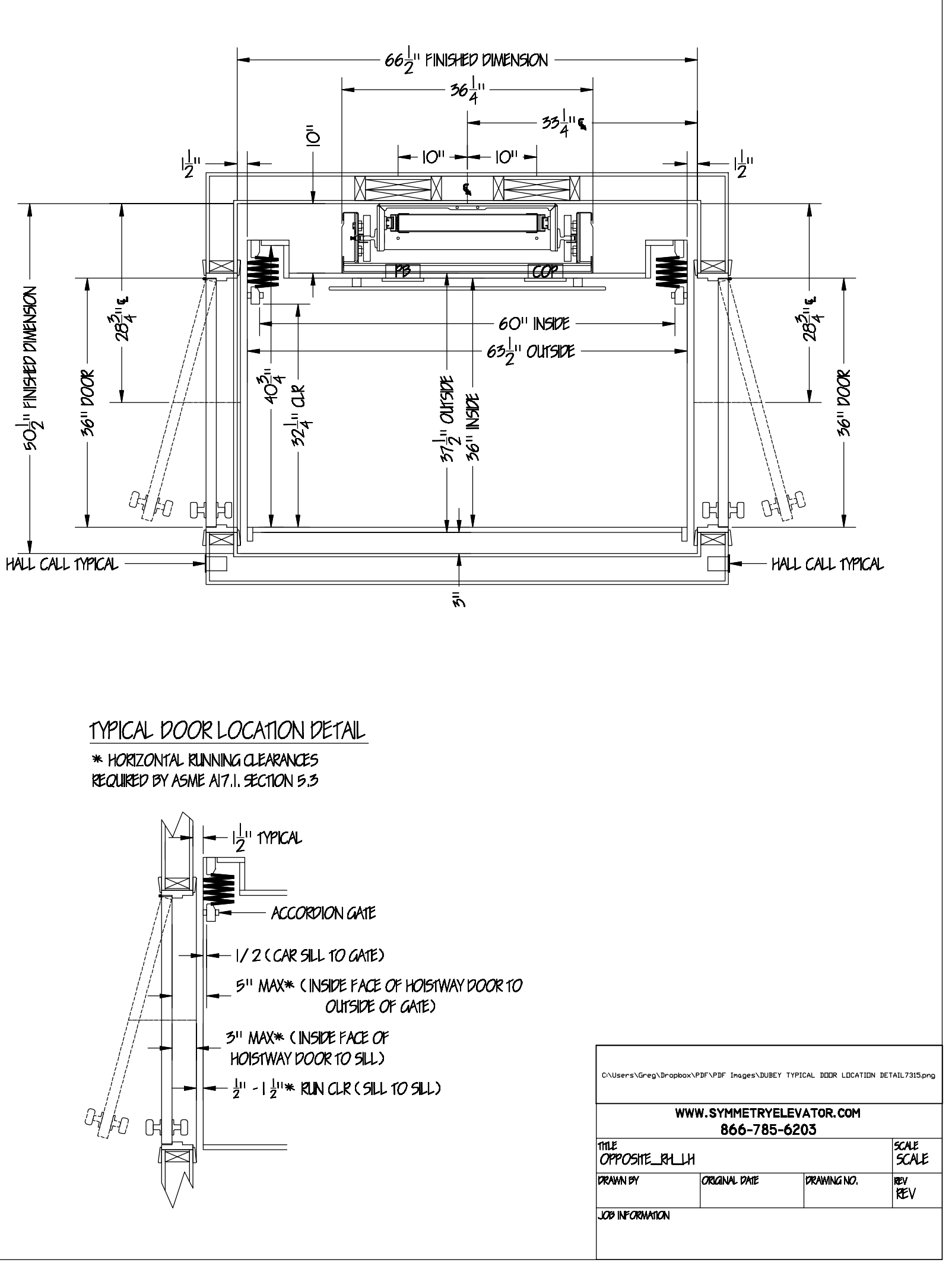
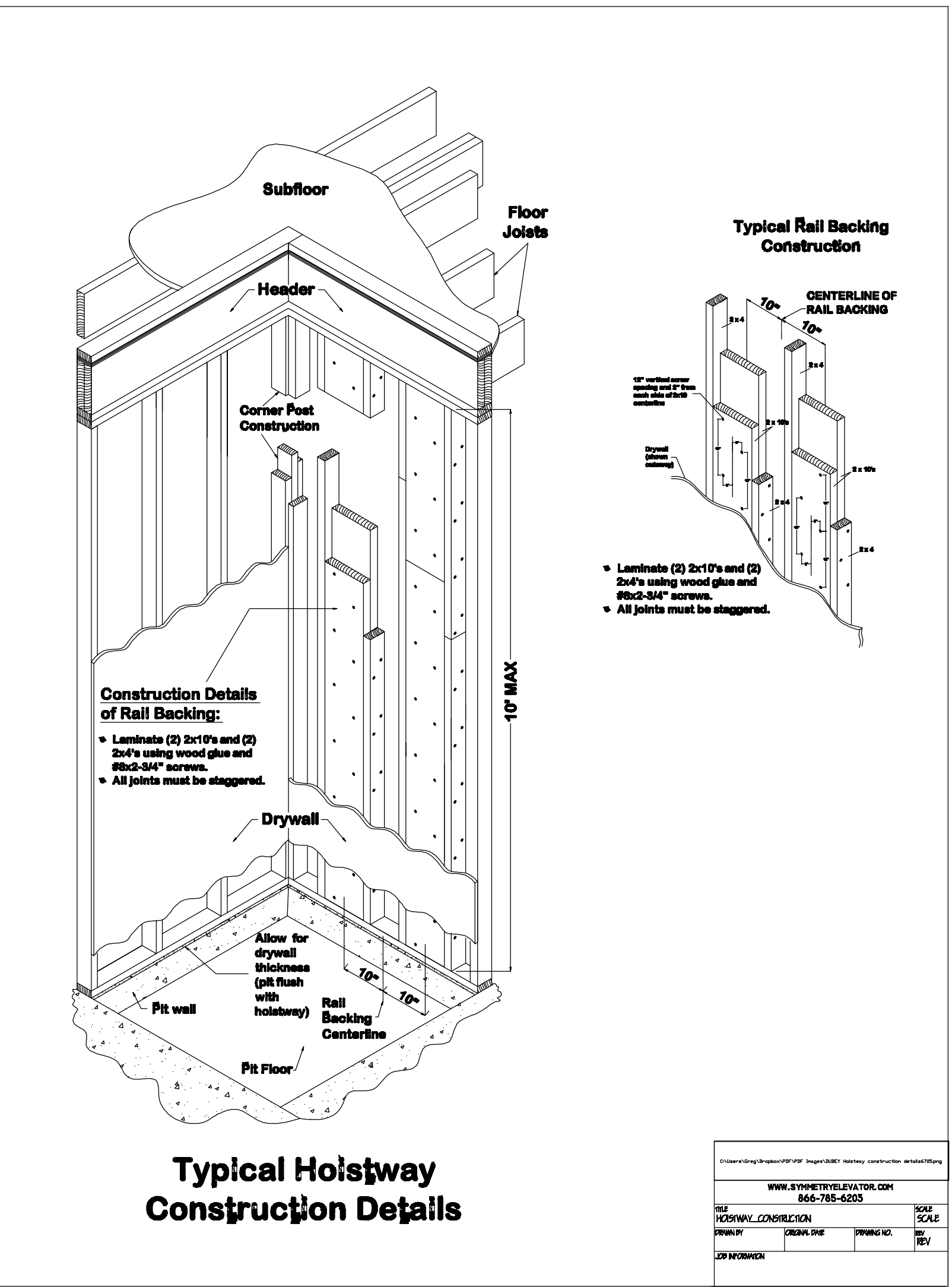
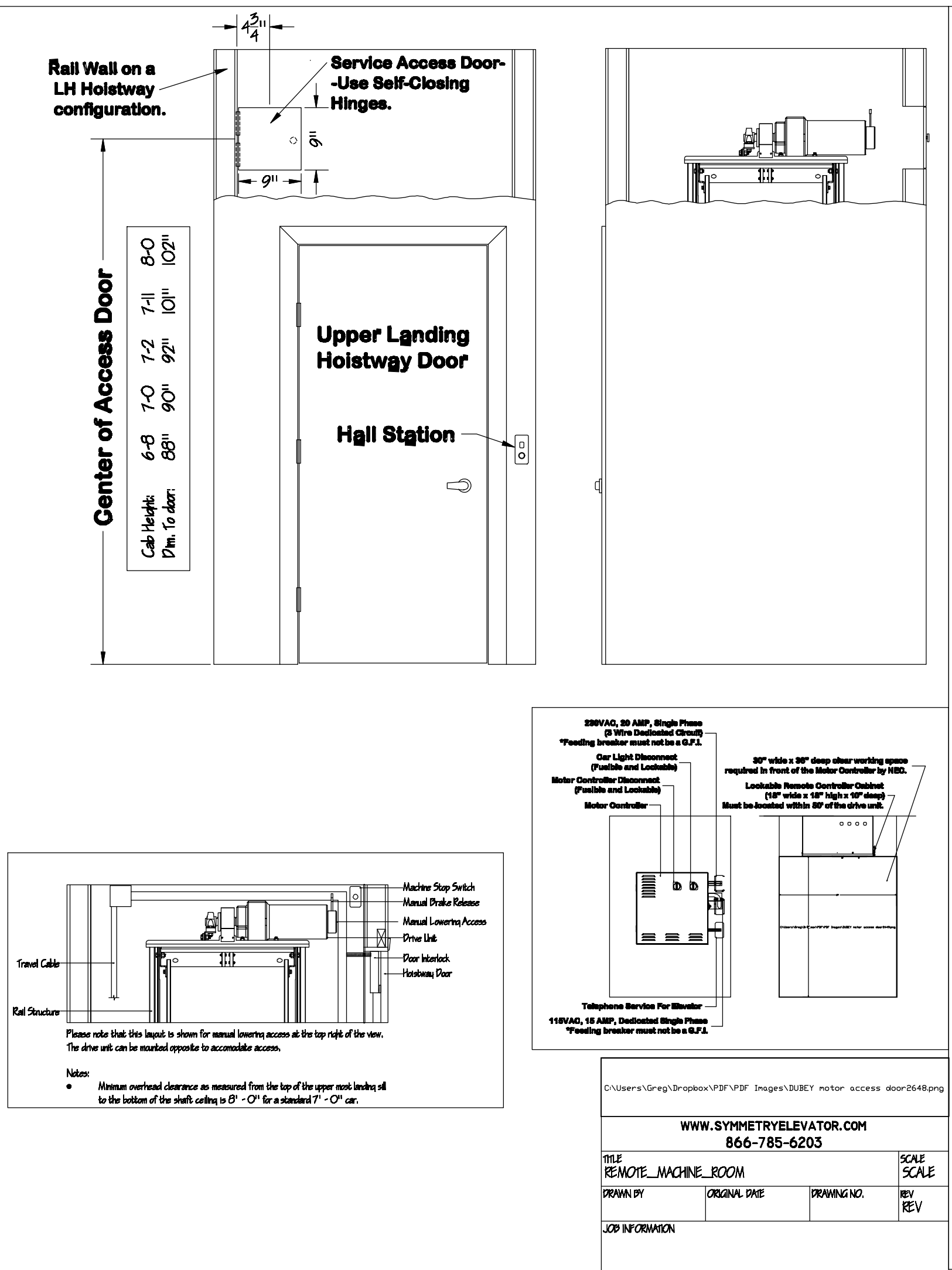
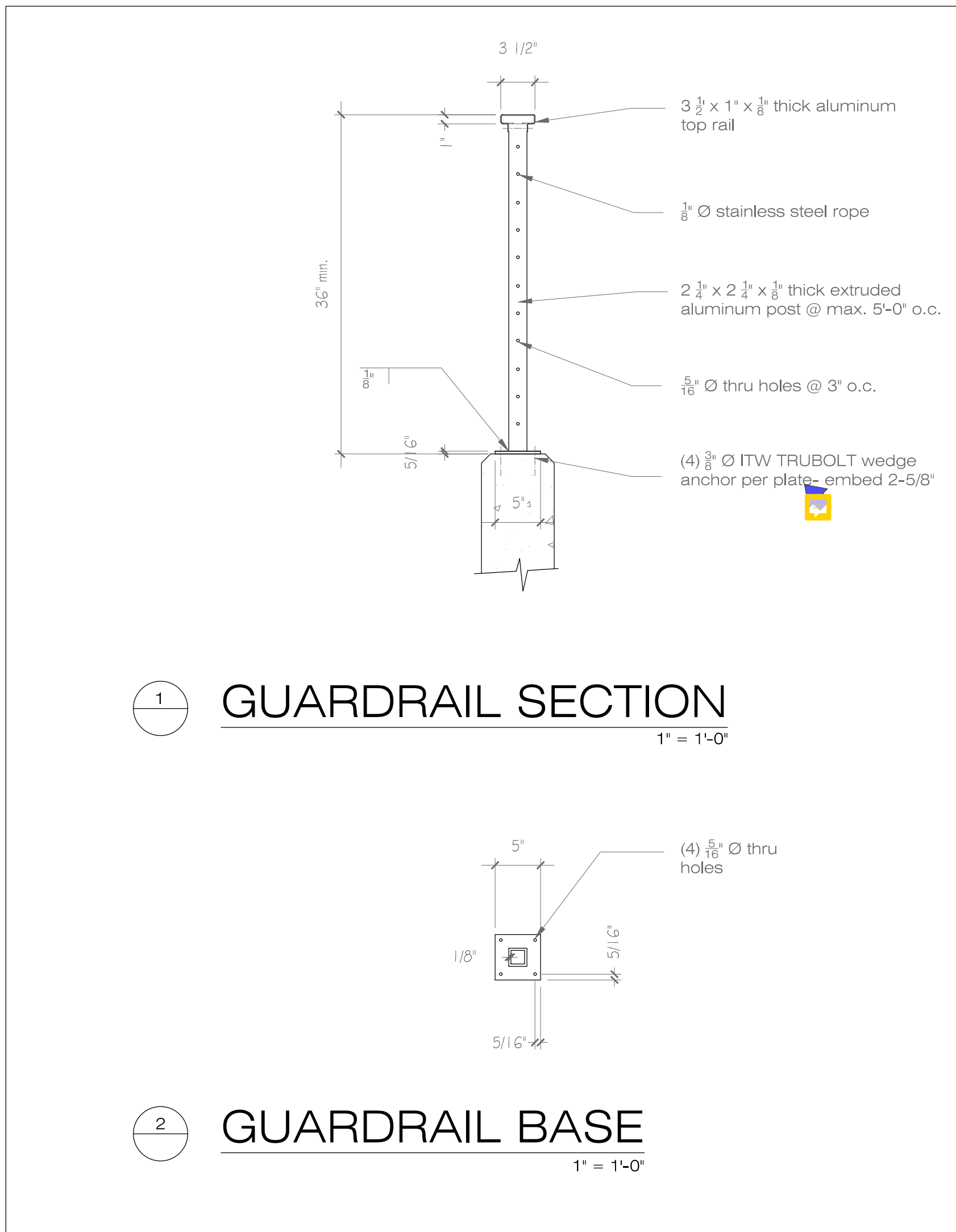
DUBEY ADDITION
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RETAINING WALL PLAN
ENTRY PATIO PLAN
RETAINING WALL ELEV.
ROCKERY SECTION

SHEET:

A-9

SHEET 10 OF 11



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GUARDRAIL DETAILS
ELEVATOR DETAILS



QUANTUM
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1511 THIRD AVENUE
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www.quantumce.com

SEAL:



PROJECT:

DUBEY RESIDENCE

8140 WEST MERCER WAY
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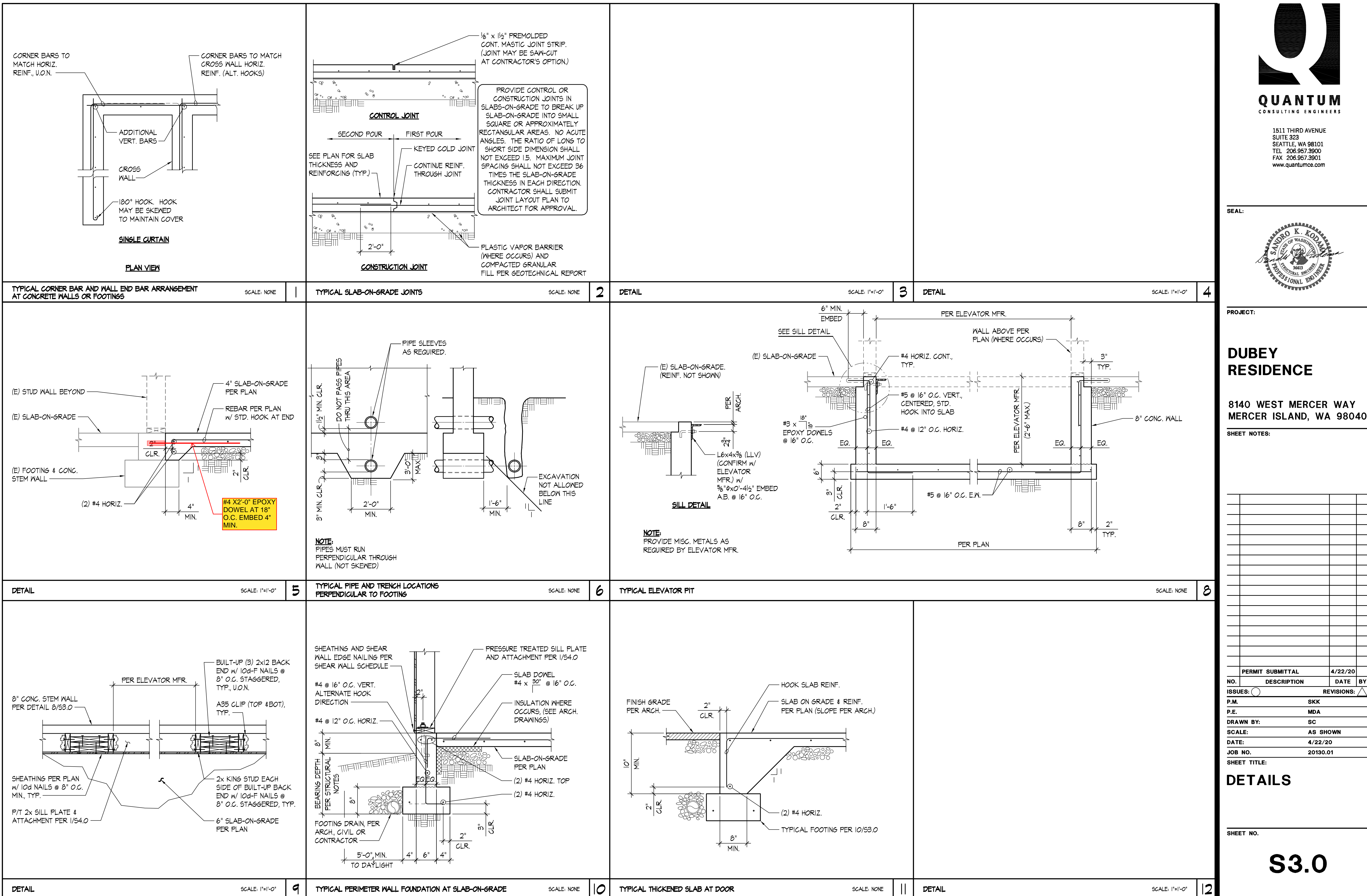
SHEET NOTES:

PERMIT SUBMITTAL			4/22/20		
NO.	DESCRIPTION	DATE	BY	ISSUES: ○ REVISIONS: △	
P.M.	SKK				
P.E.	MDA				
DRAWN BY:	SC				
SCALE:	AS SHOWN				
DATE:	4/22/20				
JOB NO.	20130.01				
SHEET TITLE:	DETAILS				

DETAILS

SHEET NO.

S3.0



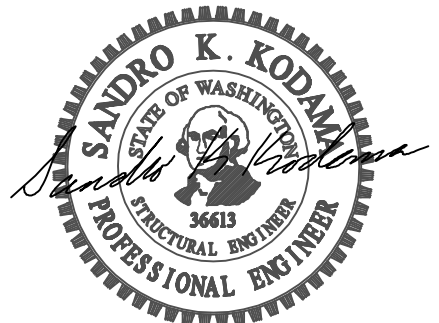
TYPICAL CORNER BAR AND WALL END BAR ARRANGEMENT AT CONCRETE WALLS OR FOOTINGS SCALE: NONE |
 TYPICAL SLAB-ON-GRADE JOINTS SCALE: NONE |
 5 TYPICAL PIPE AND TRENCH LOCATIONS PERPENDICULAR TO FOOTING SCALE: 1"=1'-0" |
 6 TYPICAL ELEVATOR PIT SCALE: NONE |
 9 TYPICAL PERIMETER WALL FOUNDATION AT SLAB-ON-GRADE SCALE: NONE |
 10 TYPICAL THICKENED SLAB AT DOOR SCALE: NONE |
 DETAIL SCALE: 1"=1'-0"



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PROJECT:

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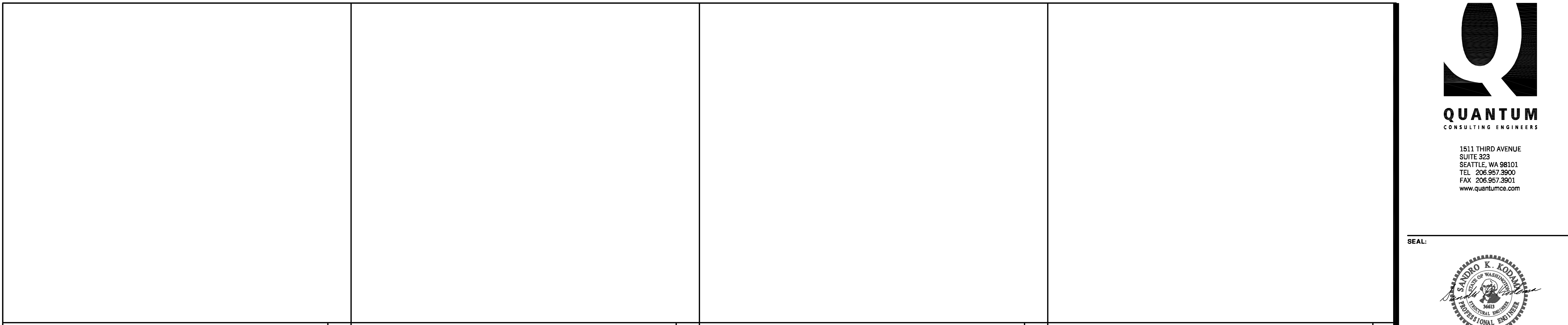
SHEET NOTES:

NO.	DESCRIPTION	DATE	BY
	PERMIT SUBMITTAL	4/22/20	
ISSUES: 0			REVISIONS: 1
P.M.	SKK		
P.E.	MDA		
DRAWN BY:	SC		
SCALE:	AS SHOWN		
DATE:	4/22/20		
JOB NO.	20130.01		

CONCRETE DETAILS

SHEET NO.

S3.1

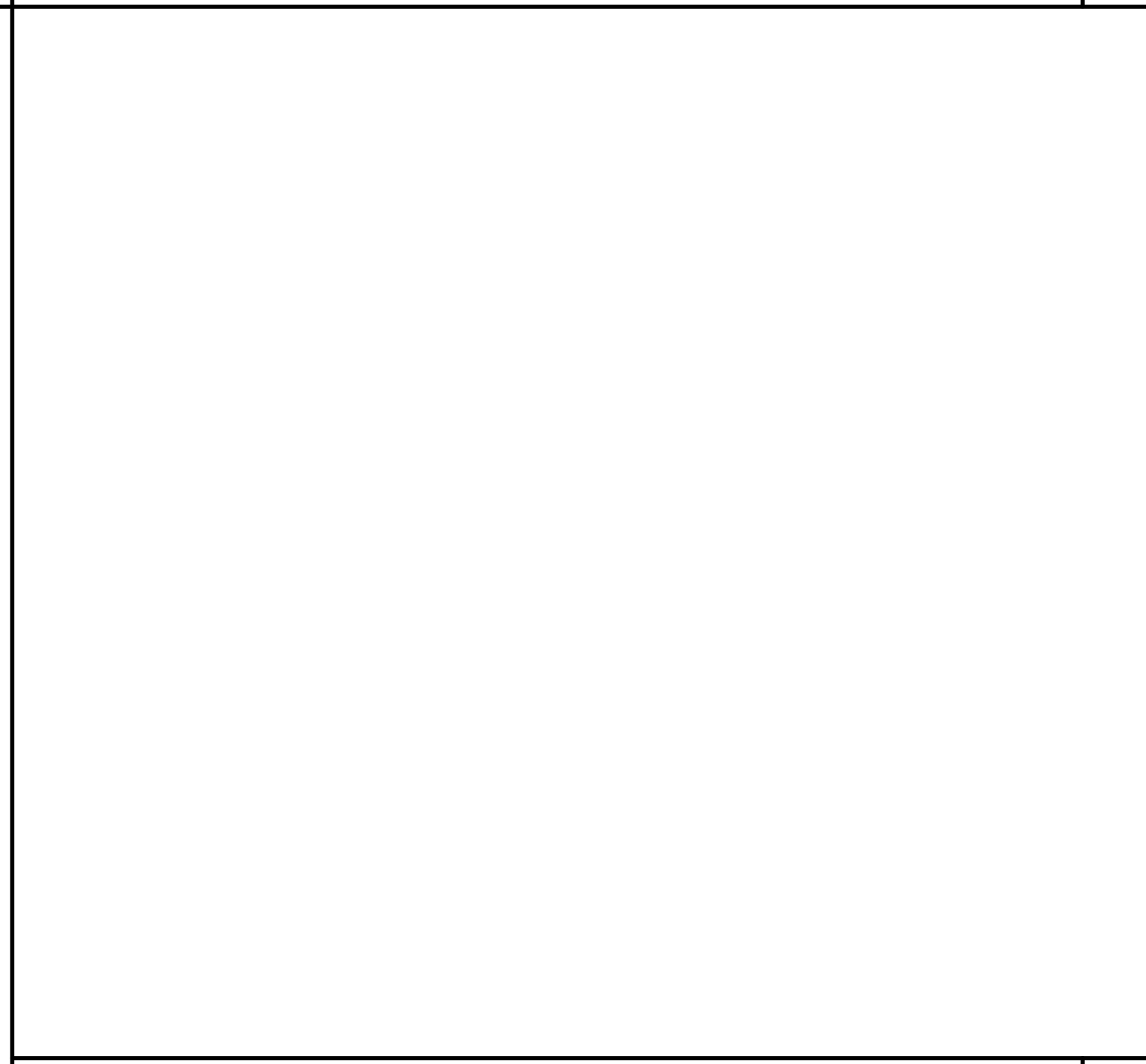
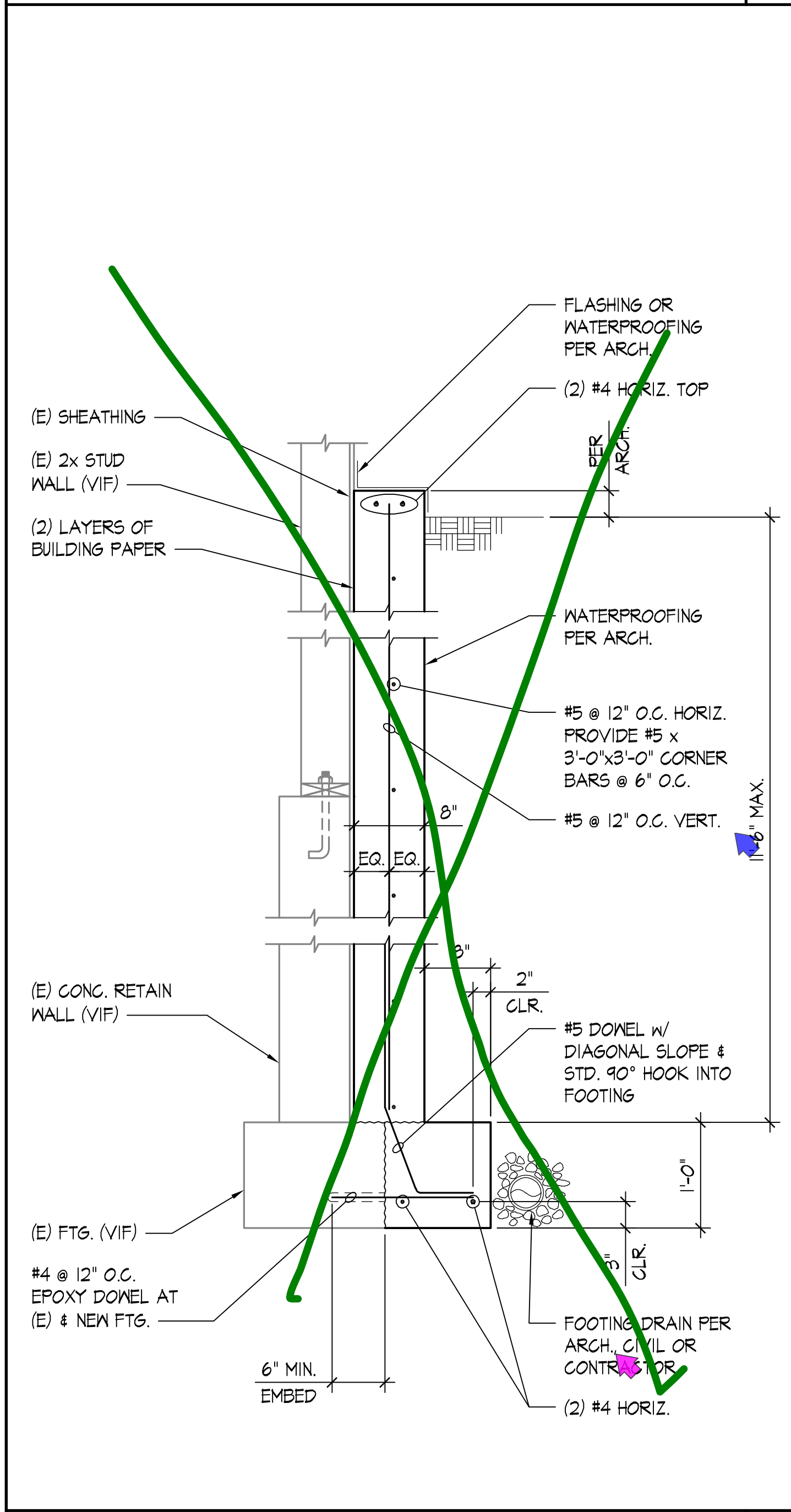


DETAIL SCALE: 1"=1'-0"

DETAIL SCALE: 1"=1'-0" 2

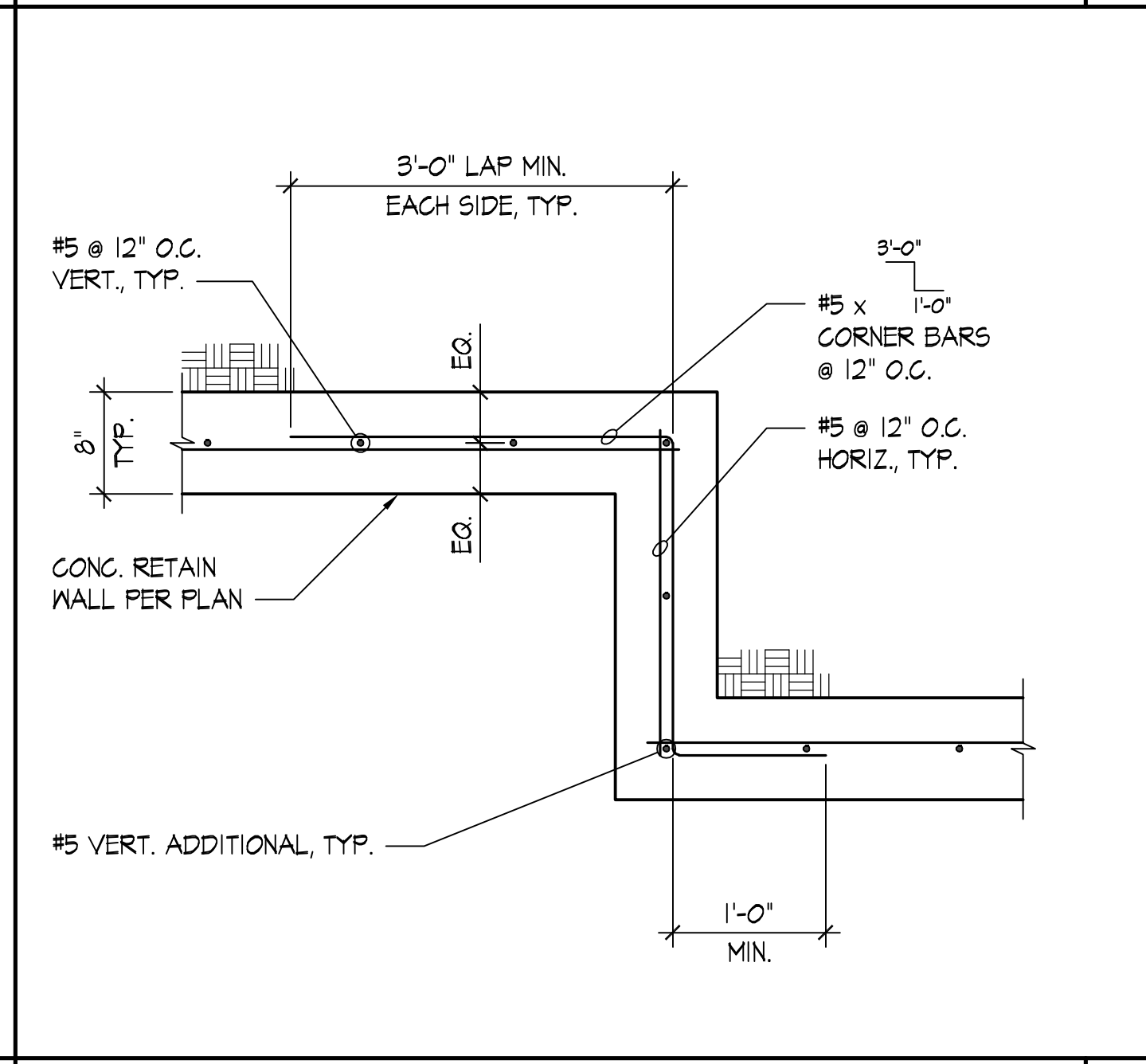
DETAIL SCALE: 1"=1'-0" 3

DETAIL SCALE: 1"=1'-0" 4



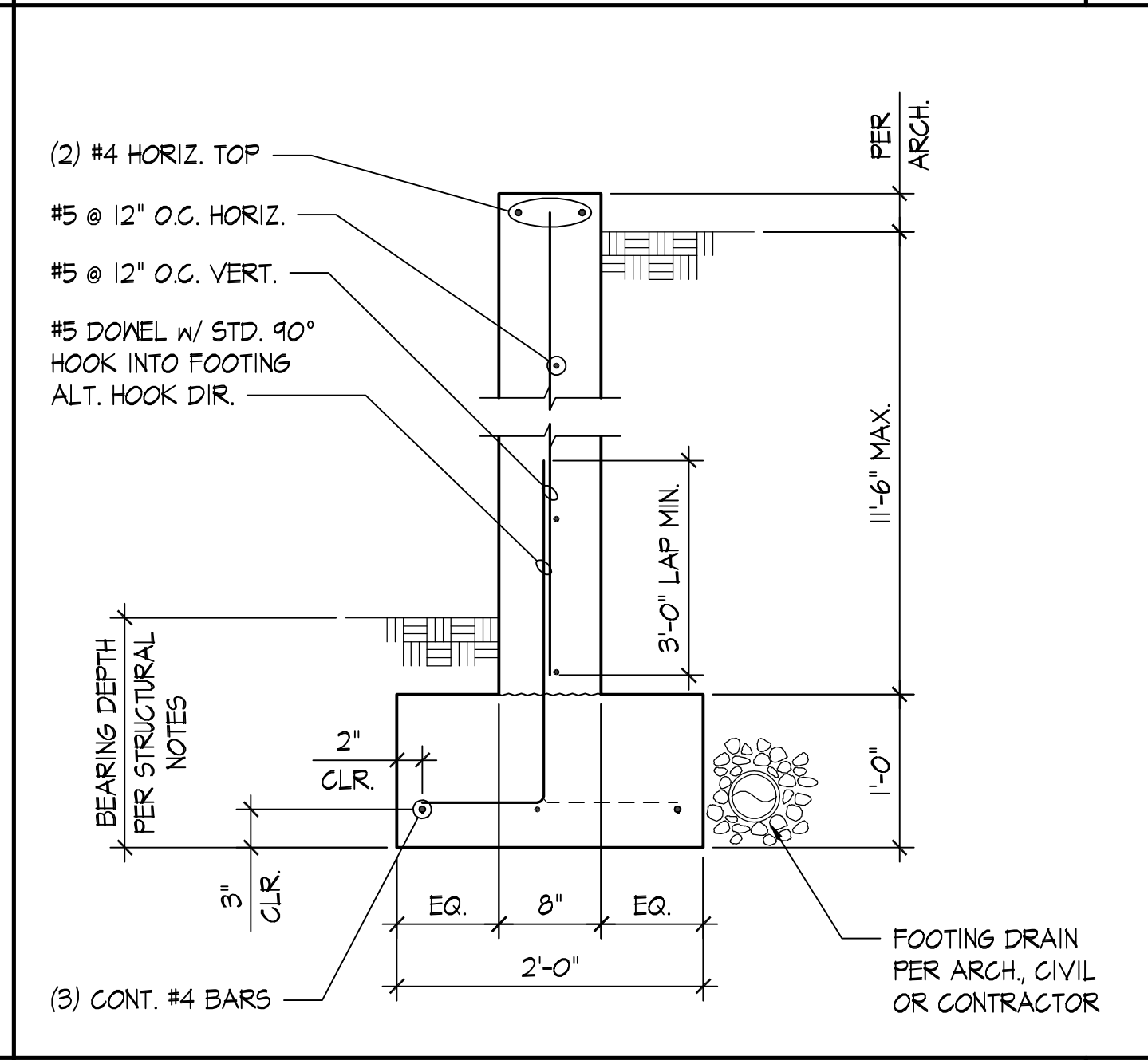
DETAIL SCALE: 1"=1'-0" 5

DETAIL SCALE: 1"=1'-0" 6



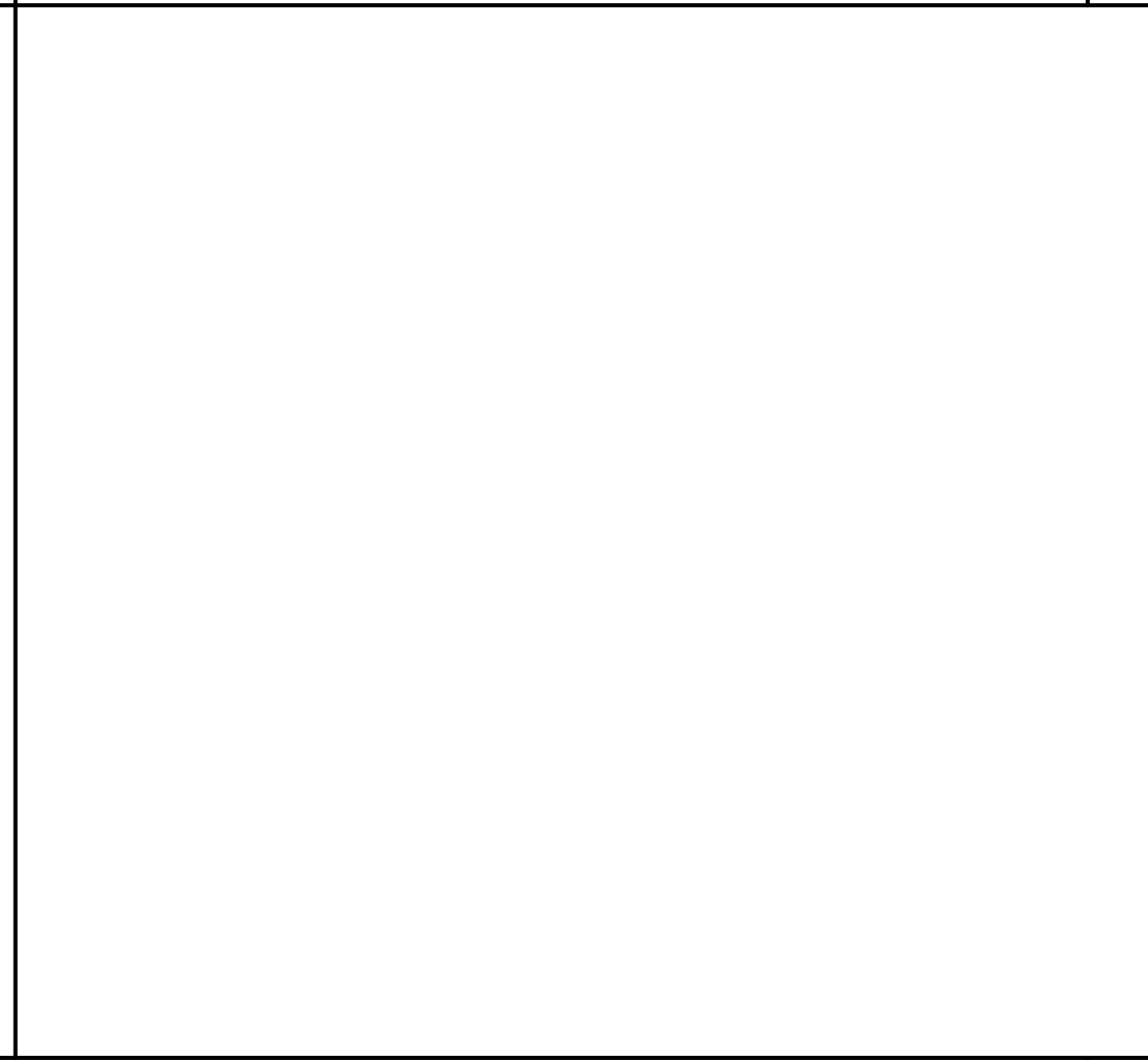
DETAIL SCALE: 1"=1'-0" 9

DETAIL SCALE: 1"=1'-0" 10



DETAIL SCALE: 1"=1'-0" 11

DETAIL SCALE: 1"=1'-0" 12



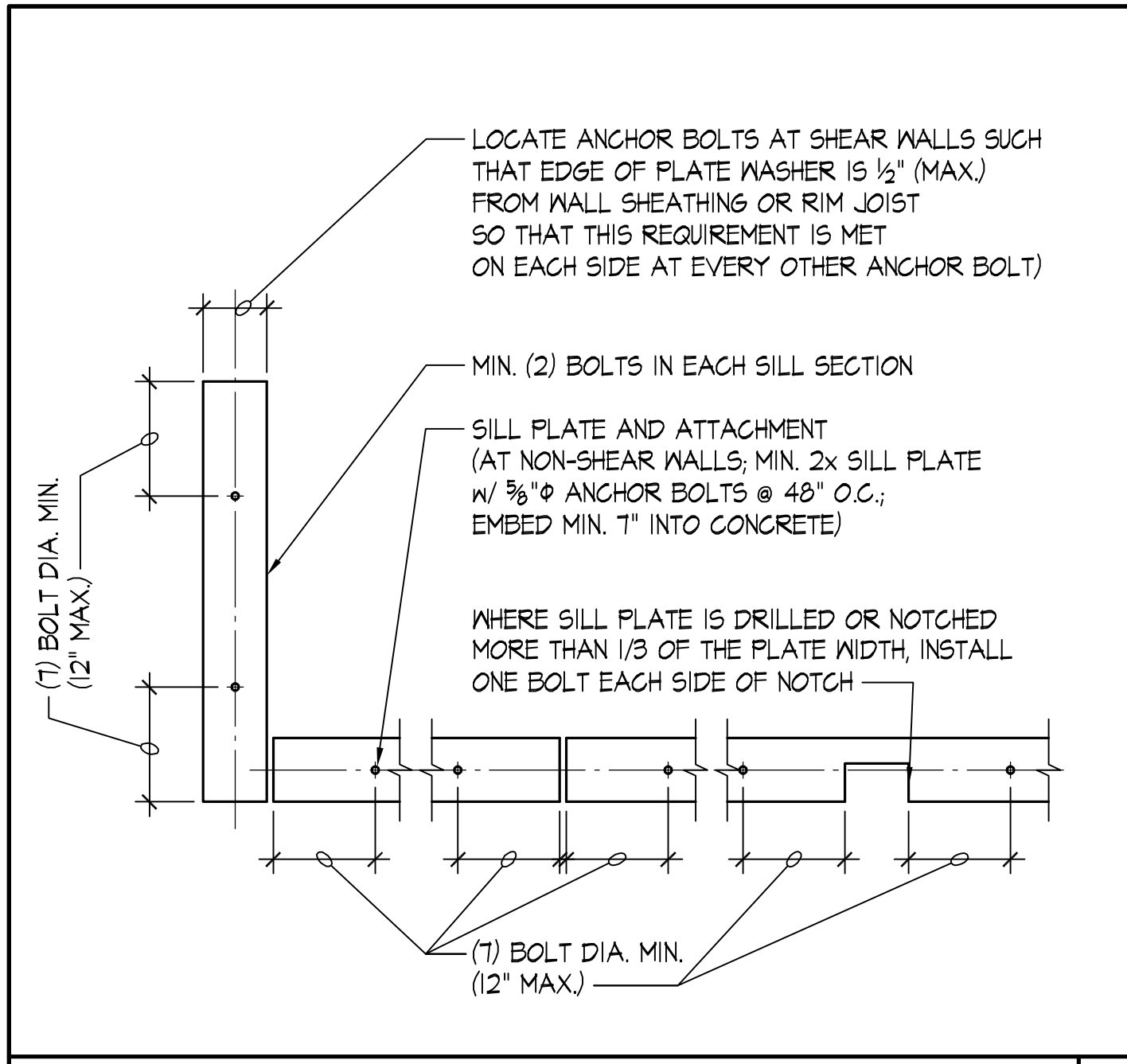
DETAIL SCALE: 1"=1'-0"

DETAIL SCALE: 1"=1'-0" 10

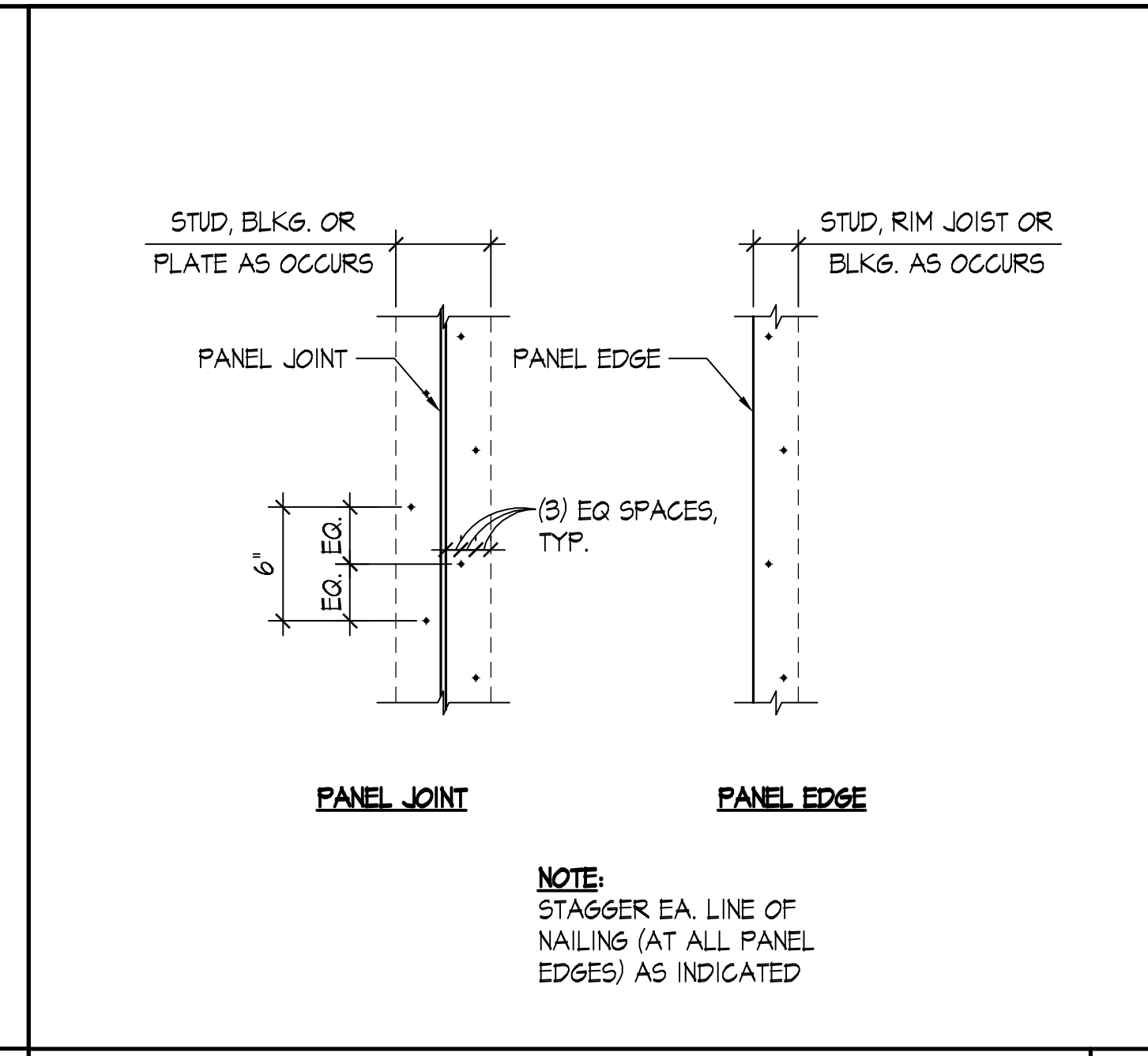
DETAIL SCALE: 1"=1'-0" 11

DETAIL SCALE: 1"=1'-0" 12

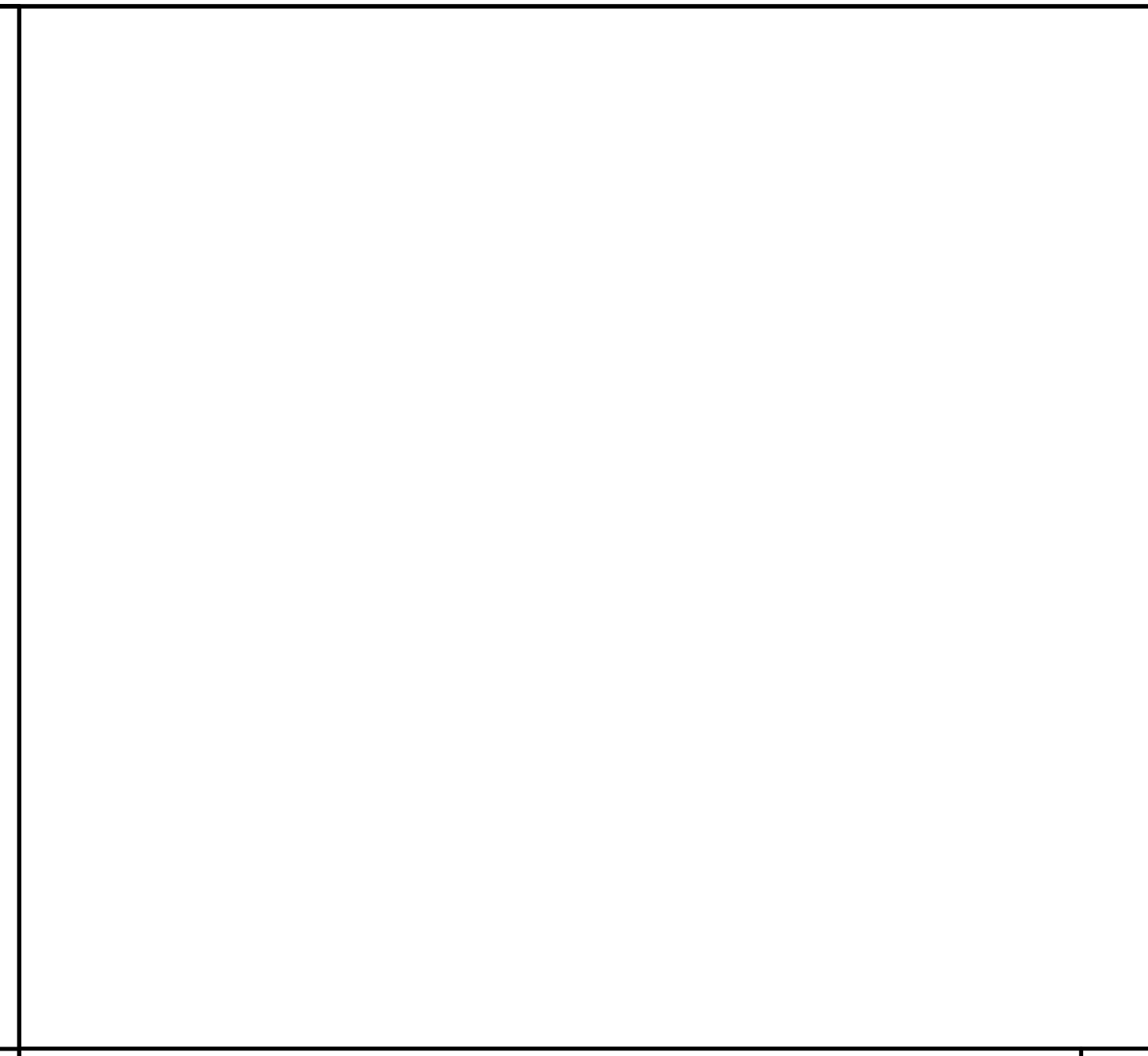
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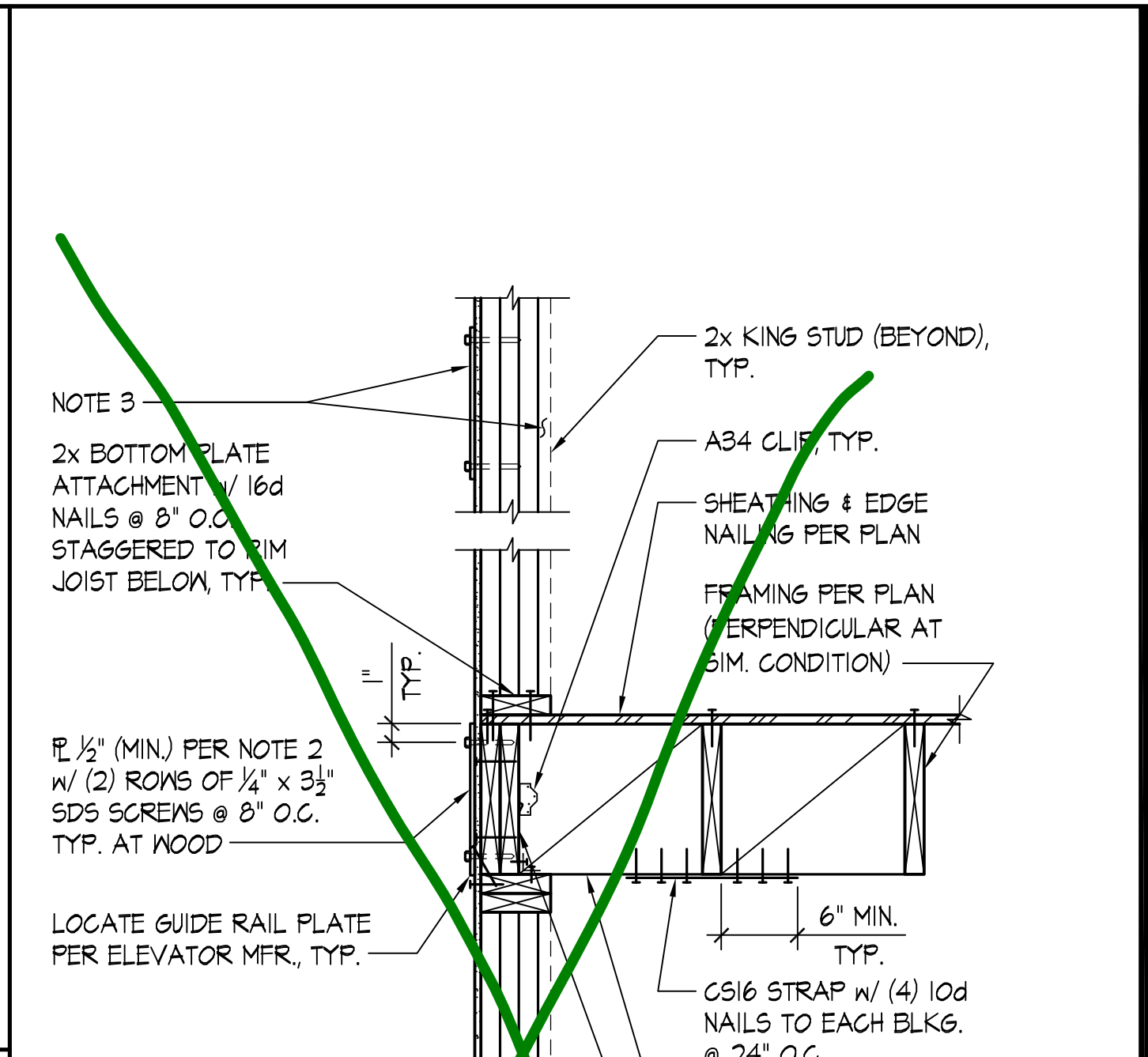
TYPICAL SILL PLATE BOLTING - PLAN VIEW SCALE: NONE



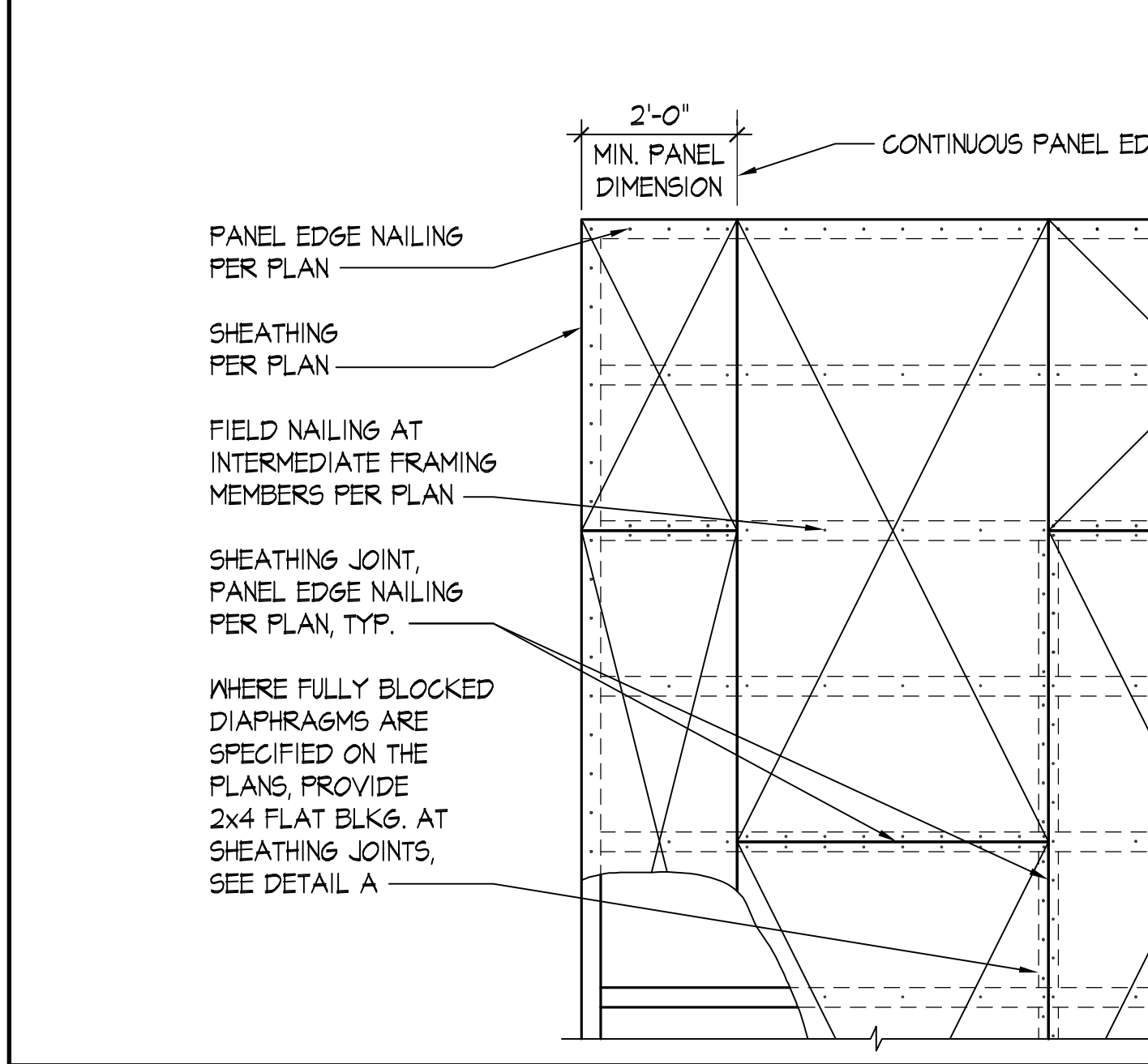
TYPICAL STAGGERED NAILING SCALE: NONE **2**



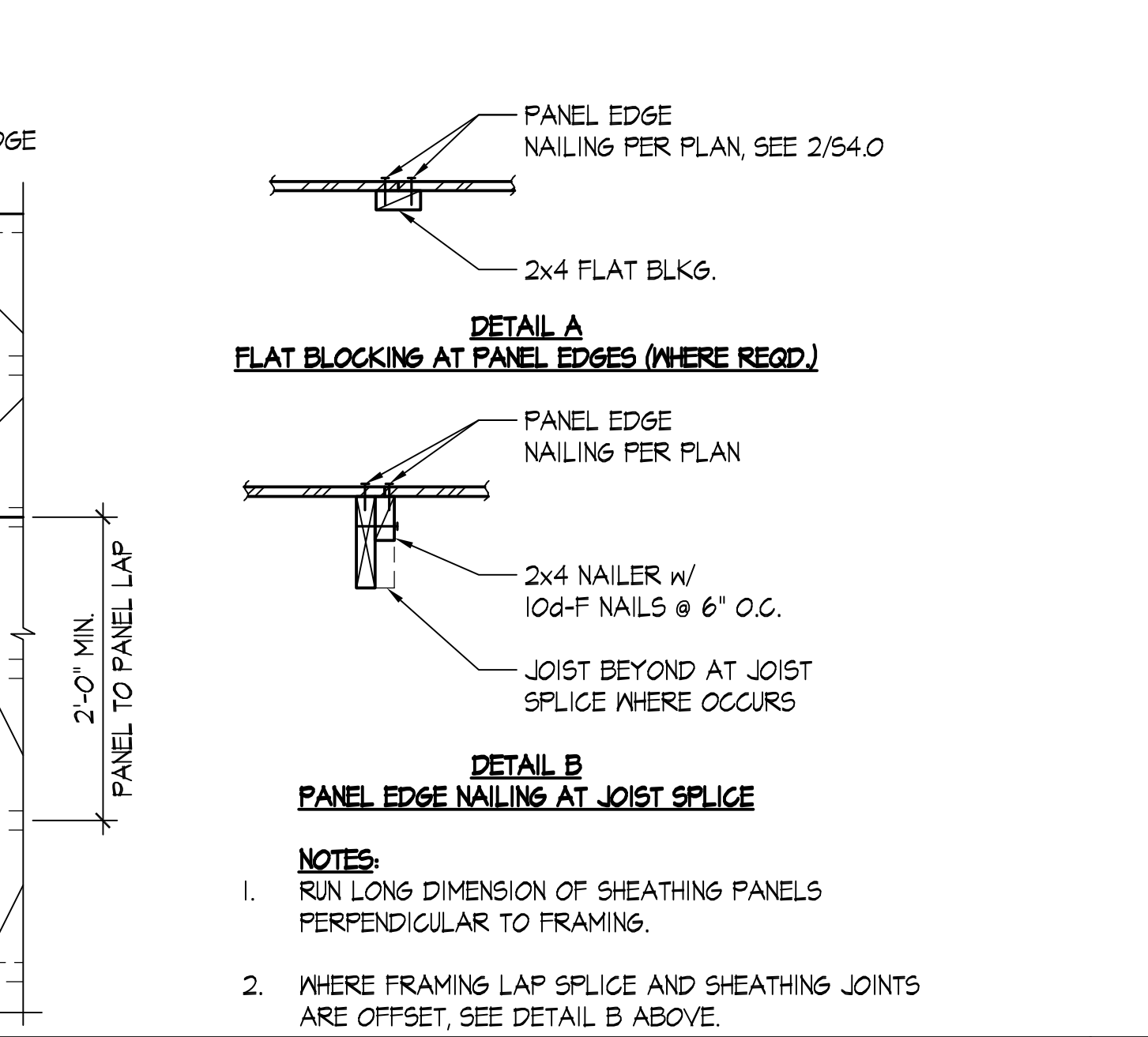
DETAIL SCALE: 1"=1'-0" **3**



TYPICAL ELEVATOR GUIDE RAIL PLATE ATTACHMENT SCALE: NONE **8**



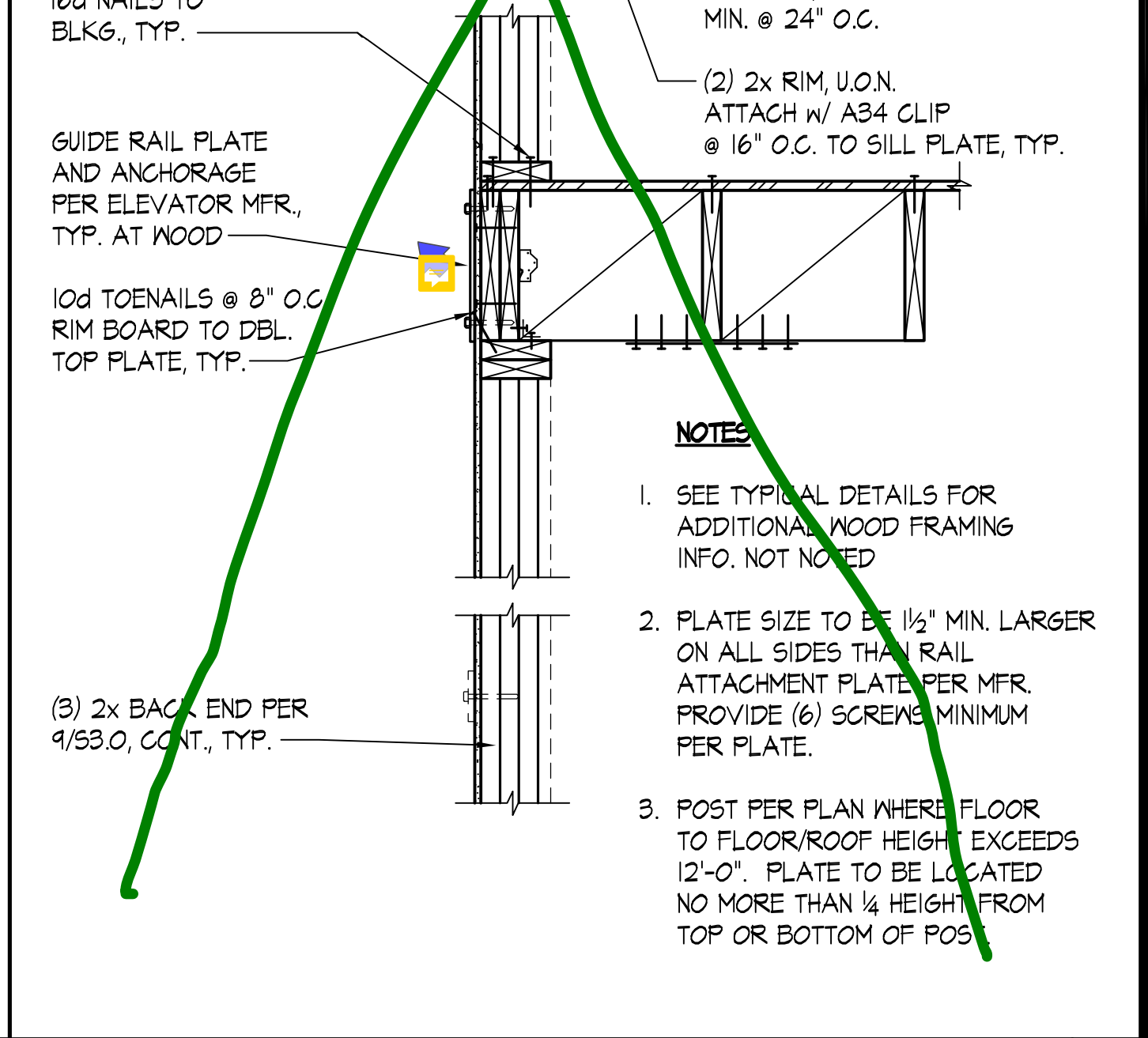
TYPICAL ROOF AND FLOOR DIAPHRAGM SHEATHING SCALE: NONE **6**



DETAIL SCALE: 1"=1'-0" **10**



DETAIL SCALE: 1"=1'-0" **11**



DETAIL SCALE: 1"=1'-0" **12**



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PROJECT:

DUBEY RESIDENCE

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MERCER ISLAND, WA 98040

SHEET NOTES:

PERMIT SUBMITTAL	4/22/20		
NO.	DESCRIPTION	DATE	BY
ISSUES: 0	REVISIONS: 1		
P.M.	SKK		
P.E.	MDA		
DRAWN BY:	SC		
SCALE:	AS SHOWN		
DATE:	4/22/20		
JOB NO.	20130.01		
SHEET TITLE:			

DETAILS

SHEET NO.

S4.0

File: I:\b-4410.dwg Plotfile: lsc 04/21/2020 4:35 pm

DETAIL SCALE: 1"=1'-0" **9**

DETAIL SCALE: 1"=1'-0" **10**

DETAIL SCALE: 1"=1'-0" **11**

DETAIL SCALE: 1"=1'-0" **12**

